

PROPOSED OFFICE BUILDING FOR 25 SHORE ROAD

PORT WASHINGTON, NY 11050



ARCHITECT:

MOJO STUMER ASSOCIATES, P.C.
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GREENVALE, NEW YORK 11548
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OWNER:

THE PETER AND JERI DEJANA FAMILY FOUNDATION
30 SAGAMORE HILL DRIVE,
PORT WASHINGTON, NEW YORK 11050

JOB DESCRIPTION:

PROPOSED OFFICE BUILDING

PROJECT LOCATION
25 SHORE ROAD
PORT WASHINGTON, NEW YORK 11050

COUNTY OF NASSAU
STATE OF NEW YORK

TAX LOT INFORMATION
SECTION: 5
BLOCK: 00401
LOT: 24, 101, 102



MOJO•STUMER
ASSOCIATES, P.C.

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LANDSCAPE ARCHITECT

pla piscitelli
landscape
architecture

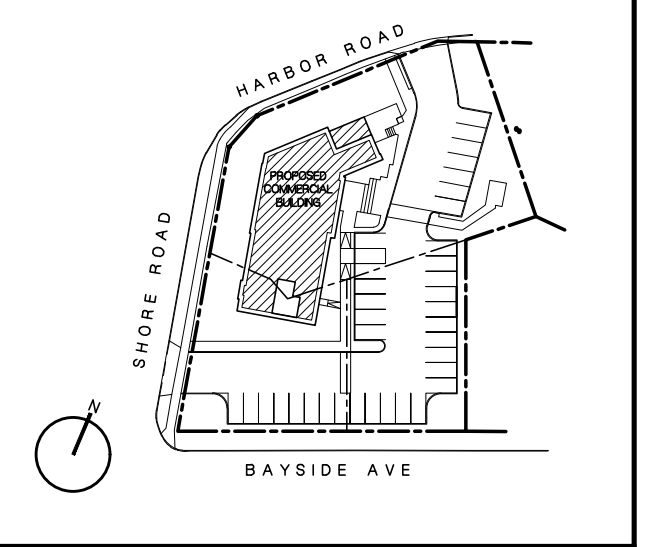
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APR 20, 2026 REVISIONS PER VOBE
COMMENTS

**SITE PLAN REVIEW
APPLICATION**

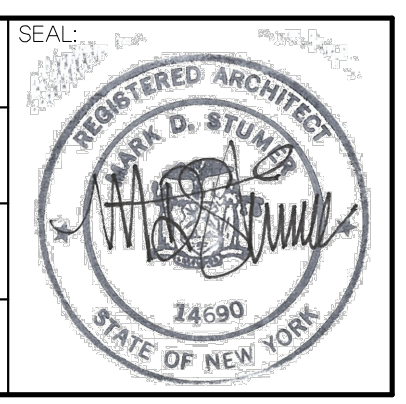
DATE: APR 20 2026

KEY PLAN



PROJECT TITLE:
**PROPOSED
OFFICE BUILDING**
25 SHORE ROAD
PORT WASHINGTON, NY 11050

SCALE:
AS SHOWN
DATE:
DEC 05 2025
DRAWN BY:
GLC / BS
PROJECT NUMBER:
202421



DRAWING TITLE:
COVER SHEET

DRAWING NUMBER:
T-000

GENERAL NOTES:

GENERAL

1. CONTRACTOR IS TO INSPECT THE SITE PRIOR TO SUBMITTING BID AND FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS, THE NATURE & SCOPE OF THE WORK AND ANY DIFFICULTIES THAT MAY BE ENCOUNTERED.
2. CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND CONDITIONS AND SHALL REPORT ALL DISCREPANCIES TO ARCHITECT IN WRITING, PRIOR TO BIDDING, FOR CLARIFICATION.
3. UNLESS SPECIFICALLY NOTED TO THE CONTRARY, CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE PROJECT AS OUTLINED ON THE SET OF PLANS OR AS IS REASONABLY INFERRABLE FROM THEM.
4. THE CONTRACTOR SHALL INCLUDE IN HIS BID, THE REMOVAL OF DEBRIS AND CLEANING AFTER ALL FINISH TRADES, INCLUDING PAINTING, WALLCOVERING, CARPETING, CABINETRY, AND DRAPERY WORK, WHETHER OR NOT THESE TRADES ARE A SPECIFIC PART OF THIS CONTRACT.
5. GENERAL CONTRACTOR SHALL VERIFY CONDITIONS OF ITEMS SPECIFIED FOR REUSE PRIOR TO SUBMITTING BID, AND HE SHALL INFORM ARCHITECT OF DISCREPANCIES AND/OR EXCLUSIONS OF SUCH ITEMS IF SAME DO NOT MEET STANDARDS OF WORK INCLUDED HEREIN.

A. GENERAL CONDITIONS

1. THE GENERAL CONDITIONS OF THE AMERICAN INSTITUTE OF ARCHITECTS FOR THE CONTRACT OF THE CONSTRUCTION LATEST EDITION IS HEREBY MADE A PART OF THIS CONTRACT AS F THEY WERE PRINTED HEREIN IN FULL.
2. CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL APPLICABLE CERTIFICATES OF INSURANCE, GENERAL LIABILITY AND WORKMANS COMPENSATION INSURANCE AND COMPLY WITH THE AMOUNTS OF SUCH INSURANCE COVERAGE REQUIRED TO WORK IN THE BUILDING.
3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE OWNER, AND JOB SITE AGAINST FIRE AND DAMAGE.
4. CONTRACTOR SHALL SUBMIT A MECHANICS LIEN RELEASE FOR ALL TRADES PRIOR TO FINAL RECEIPT.
5. CONTRACTOR SHALL CHECK JOB SITE CONDITIONS, INCLUDING MEASUREMENTS, BEFORE ORDERING ANY MATERIALS OR PERFORMING ANY WORK. ANY DISCREPANCY, VARIANCE OR INCONSISTENCY SHALL BE REPORTED TO ARCHITECT FOR CLARIFICATION.
6. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES NECESSARY AND REASONABLY INFERRABLE FOR THE PROPER COMPLETION OF THE WORK OF ALL TRADES.
7. CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES AND SHALL COOPERATE WITH ALL TRADES NOT SPECIFICALLY PART OF THIS CONTRACT.
8. ALL WORK CALLED FOR ON PLANS, IN NOTES AND SPECIFICATIONS, OR AS REQUIRED TO COMPLETE THIS CONTRACT, MUST COMPLY WITH ALL RULES AND REGULATIONS OF ALL MUNICIPAL AGENCIES HAVING JURISDICTION OVER THE WORK, IN ADDITION TO ALL SPECIFIC RULES AND REGULATIONS OF THE PARTICULAR BUILDING IN WHICH THE WORK IS LOCATED.
9. CONTRACTOR SHALL MAINTAIN A COMPLETE AND UP TO DATE SET OF CONTRACT DRAWINGS AND SPECIFICATIONS ON THE JOB SITE AT ALL TIMES.
10. ALL TRADES SHALL LAY OUT THE WORK WITH ARCHITECT AT THE JOB SITE.
11. JOB SITE SHALL BE KEPT BROOM CLEAN AT ALL TIMES.
12. CONTRACTOR SHALL PREPARE SHOP DRAWINGS, AS REQUIRED, AND SHALL SUBMIT SAME, IN TRIPlicate, TO ARCHITECT FOR APPROVAL. GENERAL CONTRACTOR SHALL CHECK SHOP DRAWINGS PRIOR TO SUBMISSION AND NO MATERIAL SHALL BE ORDERED AND NO WORK SHALL BE STARTED UNTIL SHOP DRAWINGS ARE APPROVED. ALL SHOP DRAWINGS SHALL BE DIMENSIONED IN FEET AND INCHES, AND SHALL INDICATE ALL TOLERANCES AND CLEARANCES REQUIRED. ALL INSTALLATIONS SHALL CONFORM TO GOOD TRADE PRACTICES, BUILDING STANDARDS AND ALL GOVERNMENTAL CODES. ALL ITEMS NOT INCLUDED SHALL BE NOTED.
13. CONTRACTOR SHALL SUBMIT SAMPLES TO ARCHITECT FOR ALL FINISHES OF HARDWARE, WOOD, SWITCH PLATES, ETC. FOR APPROVAL, PRIOR TO ORDERING.
14. EXTRA COSTS: THE OWNERS WRITTEN AUTHORIZATION MUST BE OBTAINED PRIOR TO THE ORDERING OF ANY MATERIALS, AWARDS OF ANY CONTRACTS OR THE EXECUTION OF ANY WORK IN EXCESS OF THE ORIGINAL CONTRACT.
15. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL PROVIDE A BROOM CLEAN AND MOPPED DOWN SPACE. ALL RUBBER BASE SHALL BE FREE OF CONSTRUCTION DUST AND ALL WINDOWS AND GLASS SHALL BE PROFESSIONALLY CLEANED. LIGHTING FIXTURES AND LENSES SHALL BE CLEANED AND FREE FROM DUST.
16. GENERAL CONTRACTOR SHALL PROPERLY PROTECT THE OWNER AND ANY ADJACENT PROPERTY OR WORK. ANY DAMAGE TO SAME CAUSED BY CONTRACTOR'S WORKMEN OR SUBCONTRACTORS WORKMEN SHALL BE REPAIRED OR REPLACED WITHOUT DELAY. PATCHING AND REPLACING OF DAMAGED WORK SHALL BE DONE BY GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL SAME IS TURNED OVER TO THE CLIENT.

B. DEMOLITION AND PATCHING

1. THE SCOPE OF WORK SHALL INCLUDE THE DEMOLITION AND REMOVAL FROM PREMISES OF ALL UNNECESSARY PARTITIONS, DOORS, BUCKS, ETC., AS WELL AS ELECTRICAL, HVAC, AND PLUMBING LINES AND EQUIPMENT AND REMOVAL OF CABINETS (BY LICENSED TECHNICIANS), TO ACCOMPLISH THE WORK AS OUTLINED IN THIS SET OF DRAWINGS.
2. AFTER REMOVALS, ALL HOLES OR DEFECTIVE PLASTER AT COLLUMS, FLOORS AND PERIMETER AND INTERIOR PARTITIONS, SHALL BE PATCHED FREE OF ALL ROUGHNESS AND IRREGULARITIES.
3. CONTRACTOR SHALL PATCH FLOOR AS REQUIRED BY REMOVALS OF EXISTING PARTITIONS AND SCAR PATCH ENTIRE FLOOR SMOOTH, AS REQUIRED FOR INSTALLATION OF NEW FLOORING.
4. ALL ITEMS SPECIFIED FOR REUSE ARE ASSUMED TO BE IN GOOD OPERATING CONDITION. GENERAL CONTRACTOR SHALL VERIFY CONDITIONS OF ALL ITEMS FOR REUSE AND SHALL NOTIFY ARCHITECT OF DISCREPANCIES PRIOR TO REINSTALLATION. GENERAL CONTRACTOR SHALL STORE ALL REUSABLE ITEMS SO AS TO PREVENT DAMAGE TO THEM. SHOULD DAMAGE OCCUR, GENERAL CONTRACTOR SHALL REPLACE OR REPAIR SUCH ITEMS, AS REQUIRED, AT HIS SOLE COST AND EXPENSE.

C. CARPENTRY AND DRYWALL

1. CONTRACTOR SHALL FURNISH AND INSTALL CORNER BEADS AT ALL EXPOSED CORNERS AND J-MOLDINGS ON ALL EXPOSED ENDS IN DRYWALL CONSTRUCTION OR AS DIRECTED BY ARCHITECT. TAPE, SPACKLE, AND POLISH ALL WORK.
2. FURNISH AND INSTALL SUFFICIENT FRAMING FOR ALL WALL OPENINGS REQUIRED FOR DUCTWORK AND RETURN AIR OPENINGS BOTH ABOVE AND BELOW HUNG CEILINGS. SUCH OPENING SHALL BE COORDINATED WITH HVAC REQUIREMENTS.
3. CONTRACTOR SHALL FURNISH INSTALL AND COORDINATE ALL NECESSARY WOOD GROUNDS, CORNER CASINGS AND REQUIRED WOOD BLOCKING AND SHIMMING WITH MILLWORK CONTRACTOR, CEILING CONTRACTOR AND/OR OTHER TRADES AS REQUIRED.
4. CONTRACTOR SHALL PERFORM ALL CUTTING FITTING AND PATCHING WORK AS MAY BE REQUIRED TO MAKE ALL THE PARTS OF THE PROJECT MEET TOGETHER PROPERLY.
5. ALL DAMAGED EXISTING AREAS TO REMAIN AND ALL EXISTING AREAS AFFECTED BY DEMOLITION OR NEW CONSTRUCTION WORK SHOWN ON DRAWINGS, SHALL BE PATCHED AS REQUIRED TO MATCH EXISTING ADJACENT AREAS IN MATERIAL, FIRE RATING, FINISH AND COLOR.

D. CEILINGS

1. FURNISH AND INSTALL THE NECESSARY FRAMING AND/OR BRIDGING FOR RELOCATED AND/OR NEW LIGHT FIXTURES, DIFFUSERS, REGISTERS, ACCESS PANELS, ETC.
2. FURNISH AND INSTALL CEILING ACCESS TILES AS REQUIRED IN ACOUSTIC TILE CEILINGS TO ALL AIR-CONDITIONING PLUMBING, TELEPHONE, AND ELECTRICAL CONTROL EQUIPMENT REQUIRING ACCESS.
3. CEILING CONTRACTORS SHALL PROVIDE ALL CUT-OUTS AND GROUNDS REQUIRED FOR LIGHTING FIXTURES, REGISTERS, DIFFUSERS, ACCESS PANELS AND SPECIAL MILLWORK INDICATED ON OR INFERRABLE FROM THE DRAWINGS.
4. CEILING CONTRACTOR SHALL CLOSELY COORDINATE HIS WORK WITH THAT OF THE ELECTRICAL, HVAC, PLUMBING, TELEPHONE, AND MILLWORK CONTRACTORS, WHEREVER THEIR RESPECTIVE WORK IS CONTIGUOUS. NO EXTRAS WILL BE APPROVED FOR CUTTING, PATCHING OR REPLACING OF BROKEN TILES.
5. ALL CEILING WORK SHALL BE INSTALLED UNDER GOOD TRADE PRACTICES, INCLUDING TIGHT SEAMS AND ALIGNED JOINTS. ALL CEILINGS SHALL BE INSTALLED STRAIGHT, LEVEL AND TRUE.
6. CEILING HEIGHTS SHALL BE AS INDICATED ON THE DRAWINGS.
7. PRIOR TO CLOSING ANY CEILING, ALL PLENUM SYSTEMS (HVAC, PLUMBING, ELECTRICAL, ETC) SHALL BE INSPECTED AND WHERE REQUIRED, SHALL BE TESTED BY CONTRACTORS, ENGINEERS AND/OR AUTHORITIES HAVING JURISDICTION OVER THE WORK TO INSURE THEIR PROPER INSTALLATION AND FUNCTIONING.

E. PAINTING

1. PAINTING BY GENERAL CONTRACTOR.
2. FURNISH AND APPLY ALL PAINTS IN THE COLORS AND TYPES INDICATED ON FINISH PLANS OR SCHEDULES.
3. ALL WALLS ARE TO BE TAPED, SPACKLED AND POLISHED SMOOTH BEFORE APPLYING PAINT.
4. SURFACES TO RECEIVE PAINT SHALL BE PRIMED, UNDERCOATED AND FINISH COATED.
5. SUBMIT 12" X 12" FINISH SAMPLE PRIOR TO PAINTING. PAINTS TO BE MIXED MATCH CATALOG SAMPLES.
6. ALL METAL BUCKS, DOORS AND RADATOR ENCLOSURES AND ANY OTHER METAL WORK TO BE PAINTED SHALL BE GIVEN ONE (1) PRIME COAT AND FINISH COATS OF SEMI-GLOSS OR LOW LUSTRE ENAMEL PAINT.
7. CONTRACTOR SHALL TAKE EVERY PRECAUTION TO KEEP WORK CLEAN AND FREE FROM PAINT Drips AND SPATTERS. WHERE ADJACENT WORK IS MARKED OR DAMAGED BY THE WORK OF THIS SECTION CONTRACTOR SHALL REPLACE OR REPAIR SAME AT NO ADDITIONAL COST TO TENANT.
8. WITHIN TWO (2) WEEKS AFTER COMPLETION AND TOTAL OCCUPANCY OF PREMISES, ALL SURFACES SHALL BE INSPECTED AND ANY NOKS, SCRATCHES AND/OR SURFACE DEFECTS SHALL BE TOUCHED UP AS REQUIRED BY FINAL PUNCHLIST.

F. HEATING, VENTILATING AND AIR CONDITIONING

1. REFER TO ENGINEERING DRAWINGS.
2. REGISTERS AND DIFFUSERS SHALL BE SHOP SPRAY-PAINTED WITH SEMI-GLOSS ENAMEL PAINT IN COLOR AS SELECTED BY ARCHITECT.
3. COORDINATE THE INSTALLATION OF ALL HVAC, DUCTWORK AND EQUIPMENT WITH ALL OTHER PHASES OF THE CONSTRUCTION.
4. PROVIDE A ONE (1) YEAR WRITTEN GUARANTEE ON ALL LABOR, MATERIALS AND INSTALLATION.

G. PLUMBING

1. CONTRACTOR SHALL FURNISH AND INSTALL ALL ROUGHING, CONNECTIONS AND FIXTURES AS SHOWN ON OR INFERRABLE FROM THE DRAWINGS, OR AS SPECIFIED HEREIN OR BOTH. ALL PLUMBING WORK SHALL BE PERFORMED BY A LICENSED PLUMBER ONLY.
2. FURNISH AND INSTALL ALL VALVES AS REQUIRED FOR THE PROPER CONTROL OF THE EQUIPMENT AND PIPELINES INSTALLED UNDER THIS SECTION SO THAT ANY FUTURE LINE OR PECE OF EQUIPMENT MAY BE CUT OFF FOR REPAIR WITHOUT INTERFERENCE OR INTERRUPTION TO THE SERVICE OF THE REST OF THE BUILDING. ALL VALVES SHALL BE DESIGNED FOR REPAIRING WHEN WIDE OPEN UNDER PRESSURE.
3. BEFORE BEING COVERED UP OR BUILT-IN ALL PLUMBING SHALL BE TESTED AS REQUIRED BY ALL AGENCIES HAVING JURISDICTION OVER THE WORK.

H. LIGHTING AND ELECTRICAL

1. CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHTING FIXTURES, ELECTRICAL EQUIPMENT AND LABOR AS SHOWN OR IMPLIED ON ALL DRAWINGS AND NOTES.
2. CONTRACTOR SHALL VERIFY THAT THE REQUIRED RECESSING DEPTH (IGNED INDICATED CEILING HEIGHTS) IS AVAILABLE FOR ALL RECESSED LIGHTING FIXTURES PRIOR TO ORDERING FIXTURES. ARCHITECT IS TO BE INFORMED OF ALL OBSTRUCTIONS TO THE WORK.
3. ALL DIMENSIONS OF LIGHTING FIXTURES ARE GIVEN FROM CENTERLINE UNLESS OTHERWISE NOTED.
4. CONTRACTORS SHALL PROVIDE ALL TEMPORARY LIGHTING AND OUTLETS, AS REQUIRED, FOR ALL TRADES PERFORMING WORK ON THE PROJECT WHETHER OR NOT THESE TRADES ARE A SPECIFIC PART OF THIS CONTRACT.
5. WHERE IT SWITCH IS INDICATED ON PLANS, CONTRACTOR SHALL PROVIDE ANY OTHER ADDITIONAL SWITCHES REQUIRED IN ACCORDANCE WITH CODE REQUIREMENTS AND BEST TRADE PRACTICES. SUCH ADDITIONS SHALL BE IN GANG PLATES AS REQUIRED. NO EXTRAS WILL BE ALLOWED.
6. ALL LOW VOLTAGE WIRING AND EQUIPMENT SHALL BE FURNISHED AND INSTALLED WHERE INDICATED ON PLANS. CONTRACTOR IS PROVIDE REMOTE TRANSFORMERS WHERE REQUIRED IN APPROVED LOCATIONS.
7. ALL FLUORESCENT LAMPS REQUIRED SHALL BE ENERGY SAVING TYPE. CONTRACTOR SHALL FURNISH AND INSTALL ALL LAMPS AND BALLASTS REQUIRED FOR THIS INSTALLATION.
8. ALL WORK TO BE PERFORMED BY ELECTRICAL CONTRACTOR SHALL BE IN STRICT ACCORDANCE WITH LOCAL ELECTRICAL CODES AND SPECIFICATIONS AND SHALL CONFORM TO BUILDINGS REQUIREMENTS WHERE WORK IS LOCATED. ALL ELECTRICAL WORK SHALL BE PERFORMED ONLY BY DULY LICENSED ELECTRICIANS.
9. ALL WIRING SHALL RUN CONCEALED IN WALLS, COLLUMS, FLOORS OR ABOVE HUNG CEILING UNLESS OTHERWISE NOTED. PROVIDE PROPERLY SIZED CONDUIT (BY STAND-OFF) WREID TO CEILING SUPPORTS AS REQUIRED BY STATE AND LOCAL CODES.
10. ELECTRICAL CONTRACTOR SHALL COORDINATE ALL WORK WITH THE WORK OF OTHER TRADES.
11. ELECTRICAL CONTRACTOR SHALL PERFORM ALL CHOPPING, CUTTING AND DRILLING OF PARTITIONS AND FLOORS REQUIRED FOR THE PROPER INSTALLATION OF ALL ELECTRICAL WORK.
12. CONTRACTOR SHALL PROVIDE ALL NECESSARY POWER AS REQUIRED WHERE A MACHINE OR DEVICE IS SPECIFIED. WHERE A SPECIAL ELECTRICAL RECEPTACLE IS REQUIRED, THE ELECTRICAL CONTRACTOR SHALL FURNISH AND INSTALL SAME.

1. Insurance (Article 27, 28, 29 - Supplemental)

1. Unless specifically stated otherwise in the Contract Agreement, each subcontractor shall file Certificates of Insurance, acceptable by Owner, prior to starting work. The Contractor shall be responsible for all work of every description and strictly assume and does so assume all risks for damage or injury from whatever cause to property and persons used or employed on or in connection with his work, and of all damages or injury to any persons or property wherever located, resulting from any action or operation under the Contract or in connection with the work, and undertakes and promises to defend the Owner against all claims on the account of any such damage or injury. The Contractor shall carry insurance as follows:
 1. Workmen's Compensation as required by Labor Laws.
 2. General Liability with limits of \$100,000,000 each person and \$3,000,000 each accident.
 - a) Body Injury Liability with limits of \$100,000,000 each person, \$3,000,000 each accident.
 - b) Property Damage Liability with limits of \$300,000 each accident.
 - c) Protective Body Injury Liability with limits of \$100,000,000 each person, \$3,000,000 each accident.
 - d) Protective Property Damage Liability with limits of \$300,000 each accident.
 3. Owner's Protective Liability, naming Owner as insured with Work Injury Liability Limits and Property Damage Liability Limit as stated in 21, sub items c) and d).
2. Clean up: Each trade shall do all cleaning of its own work and all other trades where such work is soled due to its operation. The General Contractor is responsible for storage of clean up by his subcontractors. The General Contractor is responsible to leave the project in a broom clean condition.
3. Contractor is responsible for storage of materials and shall arrange with Owner for storage of materials so that site is kept orderly and materials are properly protected against damage and theft.
4. Removal of debris, procurement of dumpster and related work shall be the responsibility of the General Contractor. Location of dumpster shall be by mutual agreement between Owner and General Contractor.
5. Contractor is to include in his price hookups to all kitchen appliances (sinks, oven, refrigerator, washing machine, etc.). Appliances by Owner. Sinks and faucets by General Contractor (see plumbing fixture).
6. Contractor is to coordinate and work with cabinet worker in installation of all cabinets. Contractor to supply electric and plumbing hookups to all cabinets as required. Contractor to wire built-ins as required and coordinate wiring with electrician and cabinet maker.
7. Alternates: If the Contractor feels that an alternate material or method would result in a time or cost saving, he should submit specifications and catalogue cuts to the Architect for his approval before proceeding with any substitution. Substitutions must be of the quality to item specified and will be allowed only with the approval of Architect.
8. General Contractor to coordinate with Owner intercom/telephone installation for exact location of equipment and wiring. Wats are not to be closed until telephone/intercom installation is complete.
9. General Contractor to coordinate with Owner's audio/visual contractor exact location of all equipment, speakers, wiring, antenna wiring and any conduit that may be necessary for future installation. Wats and finished floor are not to be closed until audio/visual installation is complete.
10. General Contractor is to include in bid any and all work necessary to raise existing floor areas to provide flush floor levels at transition of existing to new construction (except where steps are noted on architectural drawings).
11. Discrepancies:
 - B. Wherever there are discrepancies between the drawings or the drawings and Specifications, the Contractor shall contact for provide and install the better quality or greater quantity of materials or work called for unless otherwise ordered in writing.
 - C. Written dimensions shall govern over scaled dimensions.
12. Omissions:
 - D. The Drawings and Specifications are intended to coordinate. Anything found on the Drawings and not mentioned in the Specifications, or vice versa, or anything not expressly set forth in either, but which is reasonably implied, shall be furnished as though specifically shown and mentioned in both, without extra charge.
13. Guarantee:
 - E. Except where longer guarantee periods are specifically required in the Specifications, each Contractor shall guarantee all work performed and materials used by him under this Contract against defects for a period of one year from date of completion as evidenced by the date of the final certificate of payment.
 - F. Should any defects develop in a stressed work within the guarantee period, due to faulty material or workmanship, the Contractor shall do, or cause to be done, necessary repairs or corrective work without extra cost to the Owner. The entire cost to be borne by the Contractor. The required repairs and corrective work shall be commenced within five (5) days after written notice to Contractor by the Owner. If this work has not been commenced within 5 days, the Owner shall have the right to employ his own corrective measures and backcharge General Contractor.
14. By entering into contract on the construction project the Contractor (or Construction Manager) accepts the responsibility to be knowledgeable as to the requirements of the New York State Construction Code and other federal state and local ordinances having jurisdiction. The requirements of the foregoing codes and ordinances shall supplement the requirements shown on the drawings and elsewhere in the specifications and in the event of conflict with the architectural specifications the requirements of the codes or ordinances shall prevail unless the architectural specification is more stringent. Non-familiarity with the requirements of governing codes or ordinances will not be cause for an "extra". In the event that work has to be removed and replaced for non-compliance, the Contractor will be held responsible for all costs of removal of non-complying work and replacement with complying work.
15. Any and all workmen employed on the project are to be skilled craftsmen in their respective trades or work under the continuous direct supervision of such skilled craftsman so that all work installed shall be to the highest standard free of defects due to workmanship.
16. All materials installed by the Contractor are to be suitable for the intended application.
17. If there are any materials called for on the drawings and specifications that in the judgment of the Contractor will not yield satisfactory results in the intended application, Contractor shall notify the architect of same prior to award of the construction contract, for architect's decision.
18. Any contractor installing any work shall examine the existing conditions including any new work already installed in place, prior to commencing his installation. Commencement of his installation shall be construed to mean acceptance by such contractor of the condition of the substrate as proper and adequate for the installation of his own work.
19. and subcontractors before final payment is requested, if, in the course of construction, a condition exists which differs from that as indicated on the plans, the contractor shall stop all related work and notify the architect. Should he fail to follow these procedures and continue with the work, he shall assume all responsibility and liability arising therefrom.
20. When "approved equal", "equal to", or other general qualifying terms are used, it shall be based upon the review and approval by the architect prior to any purchase or installation.
21. The word "provide" shall mean to furnish and install all materials necessary to complete work in accordance with accepted construction standards and manufacturers recommendations.
22. Contractor is to supply owner, in writing, a waiver of all liens for himself and all suppliers.
23. Any and all workmen employed on the project are to be skilled craftsmen in their respective trades or work under the continuous direct supervision of such skilled craftsman so that all work installed shall be to the highest standard free of defects due to workmanship.
24. All materials installed by the Contractor are to be suitable for the intended application.
25. If there are any materials called for on the drawings and specifications that in the judgment of the Contractor will not yield satisfactory results in the intended application, Contractor shall notify the architect of same prior to award of the construction contract, for architect's decision.
26. Any contractor installing any work shall examine the existing conditions including any new work already installed in place, prior to commencing his installation. Commencement of his installation shall be construed to mean acceptance by such contractor of the condition of the substrate as proper and adequate for the installation of his own work.
27. and subcontractors before final payment is requested, if, in the course of construction, a condition exists which differs from that as indicated on the plans, the contractor shall stop all related work and notify the architect. Should he fail to follow these procedures and continue with the work, he shall assume all responsibility and liability arising therefrom.
28. When "approved equal", "equal to", or other general qualifying terms are used, it shall be based upon the review and approval by the architect prior to any purchase or installation.
29. The word "provide" shall mean to furnish and install all materials necessary to complete work in accordance with accepted construction standards and manufacturers recommendations.
30. Contractor is to supply owner, in writing, a waiver of all liens for himself and all suppliers.

GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH APPLICABLE LOCAL AND MUNICIPAL BUILDING CODES, AS WELL AS ANY AND ALL REGULATORY AGENCIES, INCLUDING, BUT NOT LIMITED TO, OSHA, ETC. GENERAL NOTES SHALL APPLY TO ALL DRAWINGS.
2. THE TERMS "CONSTRUCTION CONTRACTOR," "GENERAL CONTRACTOR," AND "CONTRACTOR" SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE.
3. THE GC SHALL VERIFY ALL JOB CONDITIONS, DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION, AND AS ANTICIPATED OR INFERRED PRIOR TO PRICING OR BIDDING.
4. MOJO STUMER ASSOCIATES (MSA) SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORKS PRIOR TO THE START OF ANY AND ALL WORK.
5. THE CONTRACTOR SHALL HAVE HAD EXPERIENCE ON AT LEAST THREE PROJECTS INVOLVING QUALITIES AND COMPLEXITIES AT LEAST EQUAL TO THOSE REQUIRED UNDER ALL DIVISIONS DETAILED IN THESE DRAWINGS.
6. ALL WORKMEN PERFORMING UNDER THIS WORK SHALL BE SKILLED WORKMEN IN THEIR RESPECTIVE TRADES.
7. ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE GC, AND HE WILL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL DRAWINGS.
8. GC SHALL REVIEW AND FAMILIARIZE HIMSELF WITH THE GENERAL NOTES AND SPECIFICATIONS DRAWING AND DETERMINE WHICH NOTES APPLY DIRECTLY TO HIS RESPONSIBILITY. EACH SUBTRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL WORK REQUIRED OR INFERRED ON THE DRAWINGS WILL BE DEMED AND INCLUDED IN ALL CONTRACTORS' COSTS.
9. GC SHALL BE RESPONSIBLE TO PICK UP THE BUILDING PERMIT AT THE BUILDING DEPARTMENT OFFICES AND PAY ALL OUTSTANDING FEES.
10. GC SHALL PROVIDE ALL THE DRAWINGS, COMPLETED PAPERWORK AND CERTIFICATES OF INSPECTION AND SHALL PERFORM ALL THE CONTROLLED INSPECTIONS AS REQUIRED FOR BUILDING DEPARTMENT APPROVAL.
11. UPON COMPLETION OF THE JOB, THE GC SHALL SUBMIT CERTIFICATES OF INSPECTION AND A CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA DOCUMENT #6-704).
12. THE GC SHALL SUBMIT IN WRITING ALL PROPOSALS FOR ADDITIONAL WORK TO THE ARCHITECTS OFFICE FOR REVIEW AND APPROVAL. NO WORK IS TO PROCEED UNTIL A SIGNED AUTHORIZATION TO PROCEED IS RETURNED TO THE GC.
13. MSA RESERVES THE RIGHT TO LET OTHER CONTRACTS IN CONNECTION WITH THE WORK OF THE PROJECT. THE GC SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT AND ESTABLISHING A SCHEDULE FOR ALL TRADES. HE SHALL AFFORD OTHER CONTRACTORS REASONABLE OPPORTUNITY FOR THE INTRODUCTION AND STORAGE OF THEIR MATERIALS AND EQUIPMENT AND THE EXECUTION OF THEIR WORK.
14. CONTRACTOR SHALL SCHEDULE ALL WORK TO CONFORM TO THE GENERAL CONSTRUCTION SCHEDULE AND SHALL COOPERATE WITH OTHER CONTRACTORS IN THE REQUIRED SELECTION, INSTALLATION SCHEDULE AS APPROVED BY THE ARCHITECT.
15. DRAWINGS ARE NOT TO BE SCALED. DIMENSIONS GOVERN.

16. ALL WORK IS TO CONFORM TO MSA DRAWINGS AND SPECIFICATIONS AND SHALL BE NEW AND BEST QUALITY OF THE KINDS SPECIFIED.

17. NO MATERIAL SUBSTITUTIONS SHALL BE MADE. MSA WILL CONSIDER MATERIAL CHANGE REQUESTS ON AN INDIVIDUAL BASIS. CONTRACTOR SHALL SUBMIT SAMPLES AND CUTS FOR WRITTEN APPROVAL BY MSA PRIOR TO THE START OF ANY WORK.

18. ALL MATERIALS AND EQUIPMENT SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND MAINTAINED AS DIRECTED BY THE SUPPLIER/MANUFACTURER, IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARD PRACTICE.

19. ALL SUBCONTRACTORS' SHOP DRAWINGS SHALL BE SUBMITTED TO MSA FOR APPROVAL THROUGH THE GC PRIOR TO WORK BEING PERFORMED, UNLESS OTHERWISE NOTED.

20. THE CONTRACTOR SHALL IN ALL RESPECTS COMPLY WITH ALL REGULATIONS OF THE BUILDING MANAGEMENT. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO OBTAIN SUCH REGULATIONS FROM THE BUILDING OWNER. IN THE EVENT OF CONFLICT BETWEEN BUILDING REGULATIONS AND OTHER CONTRACT DOCUMENTS, THE ARCHITECT SHALL BE CONSULTED PRIOR TO PROCEEDING.

21. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING WITH BUILDING MANAGEMENT THE USE OF ELEVATOR OR OTHER HOSTING FACILITIES FOR HANDLING THE DELIVERY OF MATERIALS. THE GC SHALL BE RESPONSIBLE FOR NOTIFYING ALL SUBTRADES OF CONDITIONS REGARDING ELEVATOR CAB SIZE, DOOR OPENINGS, ETC. ANY AND ALL FEES INVOLVED FOR THE USE OF THE HOSTING FACILITIES WILL BE THE RESPONSIBILITY OF THE GC.

22. ALL PUBLIC AREAS SUCH AS ELEVATOR LOBBIES, CORRIDORS, TOILETS, AND SERVICE HALLS SHALL BE PROTECTED TO THE SATISFACTION OF THE BUILDING MANAGEMENT. EQUIPMENT AND OTHER PROPERTY BELONGING TO THE BUILDING SHALL ALSO RECEIVE PROTECTION AND REFRESHING IF DAMAGED IN THE COURSE OF CONSTRUCTION, TO THE SATISFACTION OF BUILDING MANAGEMENT.

23. DEMOLITION AND OTHER WORK WHICH CREATES DISTURBING NOISE MUST BE SCHEDULED WITH BUILDING MANAGEMENT AND PERFORMED DURING HOURS PERMITTED. THE DELIVERY, HANDLING, AND INSTALLATION OF MATERIALS, EQUIPMENT, AND DEBRIS MUST BE ARRANGED TO AVOID ANY INCONVENIENCE AND ANNOYANCE TO OTHER TENANTS.

24. THE GC SHALL CONFORM TO BUILDING STANDARD PROCEDURES FOR THE SCHEDULING OF DEMOLITION AND CORE DRILLING, AND FOR THE CARTING OF RUBBISH THROUGH THE BUILDING. ANY OVERTIME OR ELEVATOR CHARGES SHALL BE BORNE BY THE GC.

25. PRIOR TO REMOVING ANY RUBBISH STANDARD MATERIALS, I.E. DOOR BUCKS, METAL PARTITIONS, AND LIGHTING FIXTURES, A PROPER RELEASE MUST BE SECURED FROM THE BUILDING MANAGER.

26. THE GC SHALL MAINTAIN AND OPERATE AN ONSITE FIELD OFFICE, TELEPHONE AND FAX MACHINE AT ALL TIMES DURING THE COURSE OF CONSTRUCTION WORK.

27. WORKMEN WILL BE ASSIGNED ONE TOILET AREA WHICH THE GC WILL BE RESPONSIBLE FOR CLEANING, MAINTAINING, AND UPON COMPLETION OF THE WORK, RESTORING TO ITS ORIGINAL CONDITION.

28. CONSTRUCTION PERSONNEL MUST CARRY PROPER IDENTIFICATION AT ALL TIMES.

29. ALL LADDERS, BAKERS, AND SCAFFOLDING SHALL BE IN GOOD OPERATING CONDITION. ALL DAMAGED LADDERS, BAKERS, AND ROLLING SCAFFOLDING WILL BE IMMEDIATELY REMOVED FROM THE JOB SITE.

30. ALL ELECTRIC HAND TOOLS MUST BE GROUNDED PROPERLY.

31. PROTECTIVE EYE GOGGLES WILL BE WORN DURING ANY CUTTING, WHETHER BY HAND OR BY MECHANICAL MEANS, OF FLOORS, WALLS, AND ARCHES.

32. ALL WINDOWS SHALL BE KEPT CLOSED IN THE WORK AREAS.

33. ALL FIRE EXITS SHALL BE KEPT CLEAR AND ACCESSIBLE AT ALL TIMES.

34. FIRE EXTINGUISHERS MUST BE KEPT ON THE JOB SITE DURING CONSTRUCTION.

35. THE GC SHALL BE RESPONSIBLE FOR MAINTAINING THE CLEANLINESS OF THE WORK AREA AND THE AREAS INVOLVED IN THE DELIVERY OF HIS MATERIALS.

36. THE GC IS RESPONSIBLE TO CLEAN UP AND REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, DRAPINGS, AND SILLVAGE AS GENERATED BY THE CONSTRUCTION, DEMOLITION AND/OR THE DELIVERY AND INSTALLATION OF ANY PRODUCTS, MATERIALS, OR EQUIPMENT WHICH IS PART OF HIS CONTRACT.

37. GC IS RESPONSIBLE TO THOROUGHLY VACUUM CLEAN ALL CARPETED AREAS, CLEAN ALL FLOORING, MILLWORK, ETC., AND UNCOVER AND VACUUM OUT ALL CONNECTOR UNITS AFTER THE INSTALLATION IS COMPLETED, AND MAINTAIN CONDITION THROUGH THE TENANT'S MOVE-IN.

38. GC IS RESPONSIBLE TO PROTECT AS REQUIRED ALL TENANT OCCUPIED AREAS WHERE FINISH WORK ON GENERAL CONSTRUCTION IS TO BE PERFORMED. GC TO INSTA ADEQUATE PROTECTION OF BUILDING PAPER, MANSUETE, OR OTHER APPROVED MATERIAL ON ALL FINISHED SURFACES AS DIRECTED BY THE ARCHITECT PRIOR TO THE OWNERS MOVING DATE, AND SHALL REMOVE SAME FOLLOWING COMPLETION OF THE MOVE.

39. THE GC WILL BE RESPONSIBLE FOR ALL COSTS INCURRED FOR DAMAGES CAUSED BY HIS SUBCONTRACTORS.

40. THE GC SHALL HAVE A COMPETENT SUPERINTENDENT ON THE PREMISES AT ALL TIMES WHEN WORK IS IN PROGRESS.

CONSTRUCTION NOTES

1. FINAL PLACEMENT OF ALL PARTITIONS TO BE APPROVED IN THE FIELD BY ARCHITECTS REPRESENTATIVE PRIOR TO COMMENCEMENT OF ANY WORK.
2. THE GC SHALL LAY OUT PARTITIONS STARTING FROM CONDITIONS WHERE ALIGNMENT WITH EXISTING CONSTRUCTION IS SHOWN.
3. ALL PARTITION DIMENSIONS ARE FROM FINISHED SURFACE OR FROM FACE OF CONNECTOR ENCLOSURE, UNLESS OTHERWISE NOTED.
4. WHERE A PARTITION MEETS THE WINDOW MULLION, PROVIDE A CONTINUOUS COMPRESSIBLE FILLER STRIP. A SOUNDPROOFING FILLER PANEL SHALL BE USED INSIDE THE METAL CONNECTOR ENCLOSURE TO PREVENT SOUND TRANSMISSION BETWEEN OFFICES.
5. ALL METAL TRIMS ON GYPSUM BOARD PARTITIONS SHALL BE TYPE #200 SERIES AS MANUFACTURED BY U. S. GYPSUM OR EQUAL.
6. ALL GYPSUM BOARD PARTITIONS SHALL BE PROPERLY BRACED.
7. ALL GYPSUM BOARD SHALL BE INSTALLED VERTICALLY IN FULL LENGTH SECTIONS.
8. GYPSUM BOARD AT SPRINKLER VALVE CLOSET TO BE WATER-RESISTANT TYPE.
9. GC SHALL BE RESPONSIBLE FOR TAPING AND SPACKLING OF GYPSUM BOARD INSTALLED, AS WELL AS PATCHING AND REPAIRING ALL WALLS, CEILINGS, AND COLLUMS TO REMAIN AS EXISTING.
10. ALIGN PARTITIONS WHERE NEW WALLS ABUT EXISTING COLLUM AND/OR WALLS.
11. A DRYWALL TO PLASTER OR DRYWALL: REMOVE EXISTING CORNER BEAD TAPE AND SPACKLE JOINT GY COATS MINIMUM EXCEPT AT COLLUM WHERE GYPSUM BOARD WILL PASS OVER COLLUM JOINT.
12. PLASTER TO PLASTER: REMOVE EXISTING CORNER BEAD. REINFORCE JOINT WITH WIRE MESH AND PLASTER TO FORM A SMOOTH, PLUMB, CONTINUOUS SURFACE.
13. GC SHALL CAP ALL EXPOSED EXISTING PIPING NOT BEING USED BEHIND FINISH SURFACE.
14. PROVIDE ACCESS DOORS (APPROX. 1 PER 500 SQ FT. - SEE MEP DRAWINGS) FOR PLUMBING, ELECTRICAL, ETC. AS REQUIRED TO ACCESS EQUIPMENT OR CONTROLS. LOCATION TO BE APPROVED BY MSA - ACCESS DOORS TO BE FINISH TYPE, W/ FACE MOUNTED GYR. DO TO DOOR.
15. ALL FIREPROOFING ON STEEL MUST BE REPLACED IF DAMAGED OR MISSING AT CONTRACTORS EXPENSE.
16. ALL EXISTING DOORS, DOORFRAMES OR HARDWARE TO REMAIN OR TO BE REUSED SHALL BE PATCHED, REPAIRED, UNDERCUT, OR ADJUSTED AS REQUIRED FOR A PROPER INSTALLATION.
17. ALL DOORS, EXISTING AND NEW, TO BE UNDERCUT TO 5/8" AFF UNLESS OTHERWISE NOTED.
18. ALL DOORS SHALL HAVE DOORSTOPS AND BUMPERS OR SLIDERS. DOORSTOPS TO BE FLOOR MOUNTED TYPE UNLESS OTHERWISE NOTED.
19. ALL LOCKSETS SHALL BE MASTER KEYED AS REQUIRED BY THE BUILDING MANAGEMENT. SEE DOOR SCHEDULE/PAPERWARE SCHEDULE FOR INFORMATION.
20. CONTRACTOR SHALL FURNISH AND INSTALL FIREPROOF BLOCKING IN CEILINGS OR PARTITIONS AS REQUIRED, OR WHERE WALL-MOUNTED EQUIPMENT OR CABINETRY IS INDICATED, FOR A COMPLETE INSTALLATION.
21. THE GC IS RESPONSIBLE TO PROVIDE AND INSTALL ALL BLOCKING AND GROUNDS AS REQUIRED FOR THE INSTALLATION OF WINDOW BLINDS, DRAPERIES, AND CURTAINS, AS REQUIRED, USING FIRE-RESISTANT WOOD.
22. GC IS RESPONSIBLE FOR THE REMOVAL OF EXISTING FLOORING DOWN TO THE SLAB IN ALL AREAS WHERE NEW FLOORING IS SPECIFIED.
23. WHERE METAL AND GLASS PARTITION IS SPECIFIED, GC SHALL BE RESPONSIBLE TO PROVIDE FOR ANY LEVELING OF FLOOR SLAB AS MAY BE REQUIRED FOR A PLUMB, LEVEL INSTALLATION.
24. ALL EXISTING CONSTRUCTION TO REMAIN SHALL BE PATCHED AND REPAIRED AS REQUIRED AND PREPARED TO RECEIVE NEW FINISHES PER FINISH PLAN.
25. ALL SURFACES OR FINISHES TO REMAIN IF DAMAGED DURING DEMOLITION OR ANY STAGE OF THE WORK, SHALL BE REPAIRED BY THE GC AT HIS EXPENSE TO LIKE NEW CONDITION. IT SHALL BE THE GC'S RESPONSIBILITY TO DOCUMENT ANY PRE-EXISTING DAMAGE AND RELATIVE TO GENERAL NOTE #3 NOTIFY MSA OF ANY SUCH DAMAGE PRIOR TO PRICING OR BIDDING.
26. THE GC SHALL FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS ON THE SITE WHICH MIGHT REQUIRE ACCESS DOORS, STAGING QUANTITY, AND UNIT COST.
27. ALL GYPSUM BOARD WALL STUDS AND BOARD INSTALLATION SHALL BE IN FULL ACCORDANCE WITH INDUSTRY STANDARDS & GUIDELINES AS WELL AS IN FULL ACCORDANCE WITH MFG'S SPECIFICATIONS AND INSTALLATION GUIDELINES FOR EXPANSION, BRACING, SPANS, ATTACHMENTS ETC.

NOTES

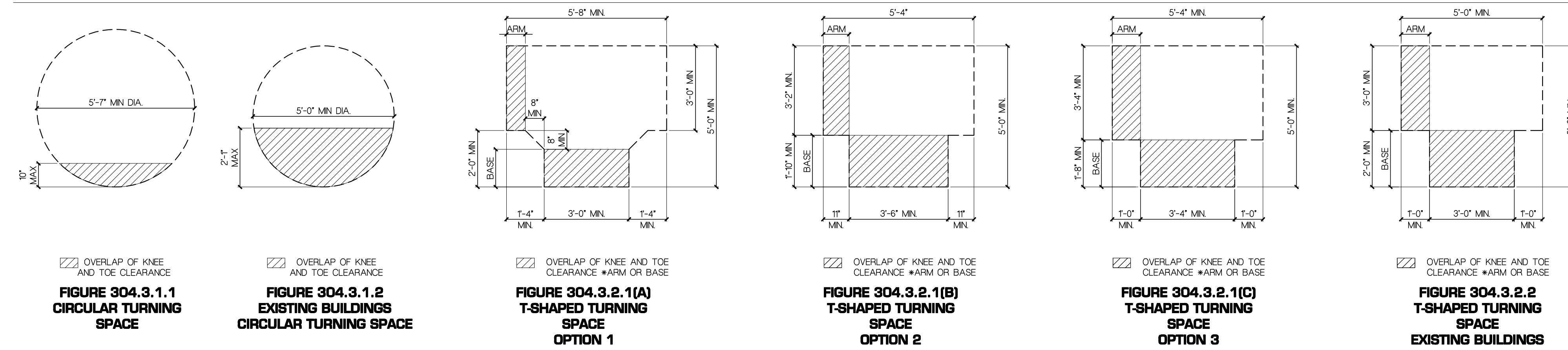
1. DRYWALL PARTITIONS SHALL BE ERECTED AS COMPLETE ASSEMBLIES USING GYPSUM BOARD, STEEL STUDS, ACCESSORIES, AND TAPING AND FINISHING MATERIALS MANUFACTURED BY U.S. GYPSUM COMPANY, OR APPROVED EQUAL, AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS DIRECTIONS.
2. SEE DRAWINGS FOR ADDITIONAL NOTES AND SPECIFICATIONS.
3. ALL GYPSUM BOARD PANELS SHALL BE 5/8" THICK N 4" 0" WIDTHS WITH TAPERED VERTICAL EDGES. FURNISH IN LENGTHS SUFFICIENT TO FORM CONTINUOUS SURFACES FROM TOP TO BOTTOM WITHOUT HORIZONTAL JOINTS BETWEEN THE FLOOR SLAB AND THE SUSPENDED CEILING.
4. GYPSUM BOARD PANELS USED IN FIRE RATED PARTITIONS SHALL BE U.S. GYPSUM FIRECODE OR APPROVAL EQUAL, AND SHALL MEET THE REQUIREMENTS OF THE TYPE "X" GYPSUM BOARD IN ACCORDANCE WITH ASTM C86.
5. WHERE SOUND ATTENTION BLANKET IS CALLED FOR, PROVIDE U.S. GYPSUM PRODUCTS - THERMABER SOUND ATTENTION FIRE BLANKET (SABF), 3" THICK.
6. GYPSUM BOARD PANELS SHALL BE SCREW ATTACHED TO STEEL STUDS, RUNNERS, AND FURRING CHANNELS USING 1 1/8" TYPE 'S' BUGLE HEAD SCREWS 12" O.C.
7. METAL TRIM CORNER BEADS, ETC. SHALL BE U.S. GYPSUM #200 SERIES GALVANIZED STEEL CASINGS, FINISHED WITH U.S. GYPSUM JOINT COMPOUND. TAPING SHALL CONSIST OF AN INITIAL TAPING OF ALL JOINTS AND SCREW PENETRATIONS WITH U. S. GYPSUM BOARD JOINT TAPE AND ALL-PURPOSE READY MIXED JOINT COMPOUND, A 24-HOUR DRYING PERIOD AND A FINAL POLISH SANDING.
8. TAPING OF ALL DRYWALL SHALL BE COMPLETE FROM ABOVE SUSPENDED CEILING LINE DOWN TO LINE OF FLOOR SLAB SURFACE TO RECEIVE BASE SHALL BE SMOOTH AND FINISHED SO THAT IRREGULAR EDGES, FEE SEALANT AND GAPS ARE NOT VISIBLE UNDER THE FINISHED RUBBER BASE.
9. DELIVER, HANDLE AND STORE MATERIALS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
10. TOLERANCE SHALL BE AS FOLLOWS: NOT MORE THAN 1/16" DIFFERENCE IN TRUE PLANE AT JOINTS BETWEEN ADJACENT BOARDS BEFORE FINISHING. AFTER FINISHING, JOINTS SHALL NOT BE VISIBLE, NOT MORE THAN 1/16" DEVIATION IN 10'-0" FROM TRUE PLANE, PLUMB LEVEL, AND PROPER RELATION TO ADJACENT SURFACES IN FINISHED WORK.
11. GYPSUM BOARD SHALL CONFORM TO ASTM C86. IT SHALL BE 5/8" THICK UNLESS OTHERWISE NOTED, AS PER MANUFACTURER BY U. S. GYPSUM OR APPROVED EQUAL.
12. BUTT-TO-BUTT JOINTS SHALL NOT BE PERMITTED. JOINTS THAT DO NOT FALL OVER FRAMING MEMBERS SHALL NOT BE PERMITTED.
13. ALL PAINTRES AND JANITOR CLOSETS - GYPSUM BOARD SHALL BE WATER RESISTANT GREENBOARD.
14. GENERAL CONTRACTOR IS RESPONSIBLE TO PROVIDE AND INSTALL ALL BLOCKING AND GROUNDS AS REQUIRED FOR THE INSTALLATION OF WALL MOUNTED ITEMS INDICATED ON THE DRAWINGS.
15. CONTRACTOR TO BUILD ALL NEW COLLUM ENCLOSURES WHERE INDICATED ON PLANS WITH NEW METAL STUD AND 5/8" GYPSUM BOARD. HOLD GYPSUM BOARD TIGHT TO COLLUM.
16. FINAL PLACEMENT OF ALL PARTITIONS TO BE APPROVED IN THE FIELD BY ARCHITECTS REPRESENTATIVE PRIOR TO COMMENCEMENT OF ANY WORK.
17. ALL DOORS TO BE UNDERCUT AS REQUIRED TO ACCOMMODATE NEW FINISHED FLOOR MATERIAL.
18. GC TO PROVIDE 1" X 4" X 8" FIRE RESISTANT PLYWOOD PANELS (WITH PAINTED FINISH) ON 2 X 4 WOOD STUDS AROUND TELECOM ROOM WALLS FROM 4" AS REQUIRED. COORDINATE WITH ARCHITECT.
19. GC TO PROVIDE DOUBLE STUDS BACK TO BACK ON BOTH SIDES OF NEW DOORFRAMES WHERE APPLICABLE AND WOOD BLOCKING AT HEADER.
20. GC TO PROVIDE CONTINUOUS PAINTABLE SILICONE CALK AT ALL NEW DOORFRAMES WHERE GYPSUM BOARD AND FRAMES MEET BEFORE PAINTING OCCURS.
21. CONTRACTOR SHALL CONSTRUCT NEW PARTITIONS TO CENTERLINE OF PERIMETER COLLUM ENCLOSURES AND MILLIONS AS INDICATED. (UON)
22. FLOOR: GC TO PATCH AND REPAIR FLOOR WITH 4000 PSI CONCRETE TO A SMOOTH LEVEL FINISH FOR THE PROPER INSTALLATION OF NEW FLOOR TREATMENT.
23. PARTITIONS: CONTRACTOR TO PREPARE ALL NEW AND AFFECTED WALLS TO A SMOOTH LEVEL FINISH FOR THE PROPER INSTALLATION OF NEW WALL COVERING OR PAINT FINISH. REFER TO FINISH PLAN.
24. THE GC SHALL PROVIDE ALL NECESSARY MATERIAL FITTINGS, BLOCKING, ETC. AS REQUIRED TO SATISFACTORILY COMPLETE HIS WORK.
25. THE CONTRACT SHALL PLASTER AND SCAR PATCH FOR ALL TRADES.
26. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL CONSTRUCTION DEBRIS AND BROOM SWEEP PREMISES AT END OF EACH WORKDAY.
27. ALL AREAS WHERE THERE ARE EXISTING DEPRESSED SLABS, GC TO FILL AND LEVEL WITH 4000 PSI CONCRETE.

FINISH NOTES

1. SAMPLES OF ALL FINISHES SPECIFIED SHALL BE SUBMITTED TO MSA FOR APPROVAL IN TRIPPLICATE, PRIOR TO COMMENCEMENT OF THE WORK. CARPET, WALLCOVERING, AND WOOD FINISH SAMPLES TO BE A MINIMUM 12" X 12". PAINT SAMPLES FOR GYPSUM BOARD SURFACES TO BE PROVIDED AS 12" X 12" PIECES OF GYPSUM BOARD.
2. ALL WALLS NEW AND EXISTING SHALL BE PROPERLY PREPARED (SPACKLED, SANDED, ETC) FOR PAINTING AND/OR WALLCOVERING AS PER FINISH PLAN AND MANUFACTURERS SPECIFICATIONS.
3. ALL PAINTS SHALL BE APPLIED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS FOR THE PARTICULAR SURFACE.
4. ALL SURFACES WHICH ARE TO BE PAINTED SHALL RECEIVE (1) COAT OF PRIMER AND (2) COATS OF FINISH PAINT.

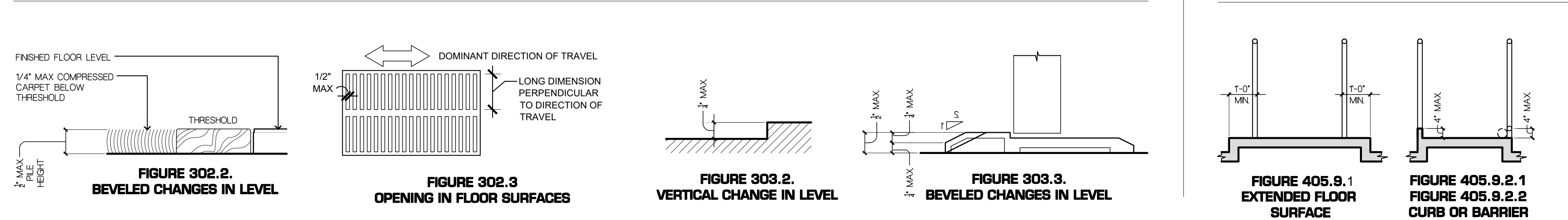
CLEAR FLOOR TURNING SPACES

ICC A117.1-2017, SECTION 304



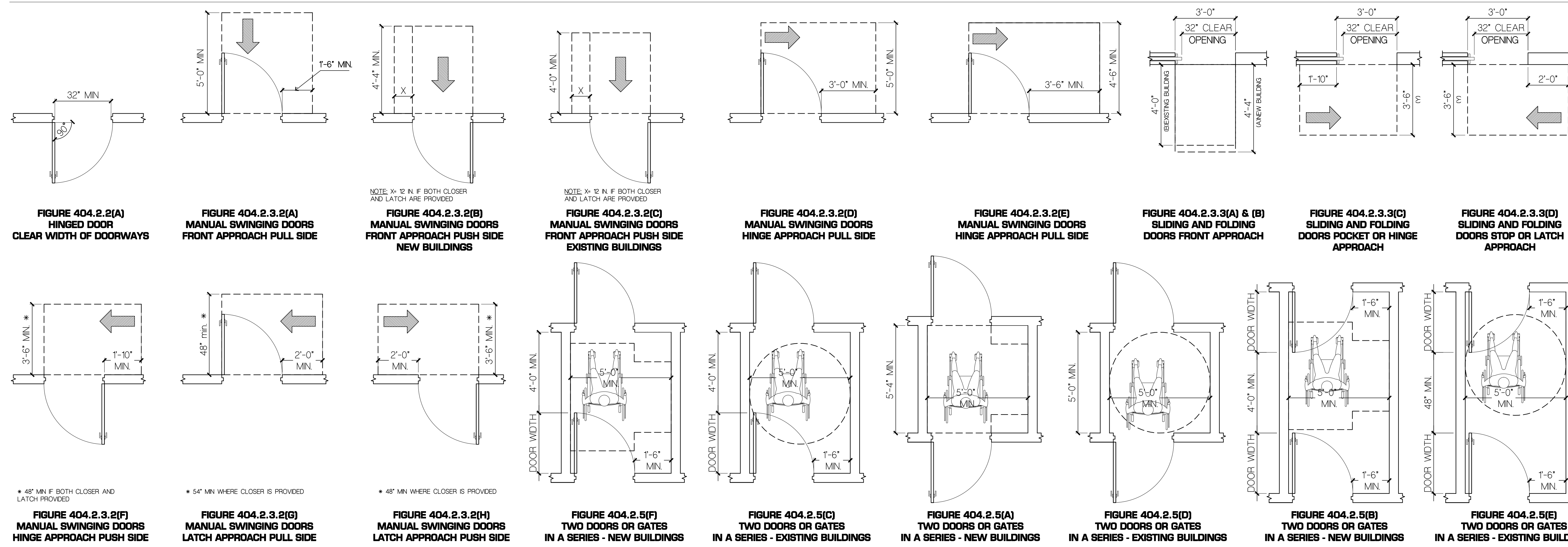
FLOOR SURFACES & VERTICAL CHANGES IN LEVEL

ICC A117.1-2017, SECTION 302 & 303



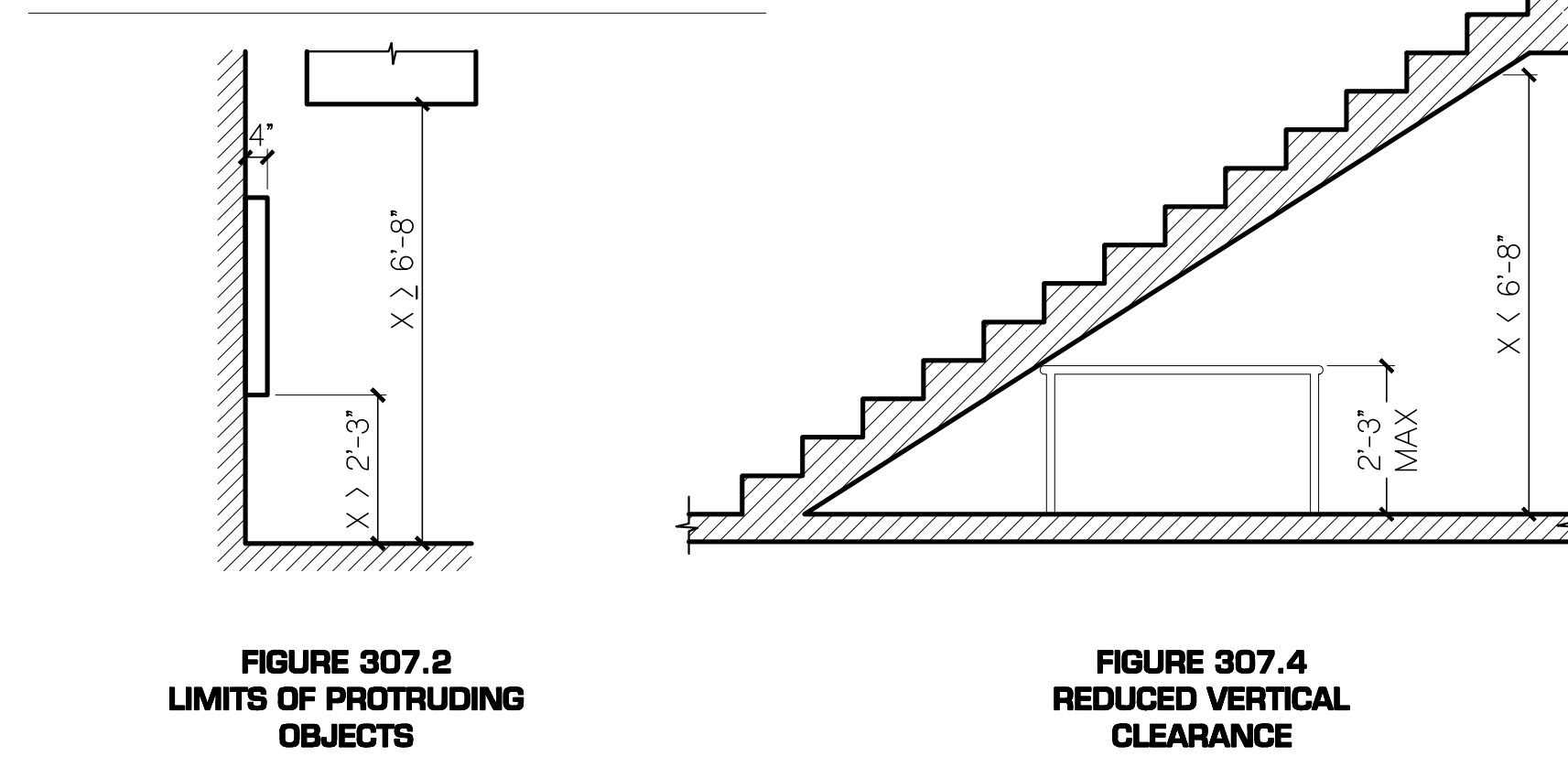
DOORS, DOORWAYS AND GATES MANEUVERABILITY

ICC A117.1-2017, SECTION 404



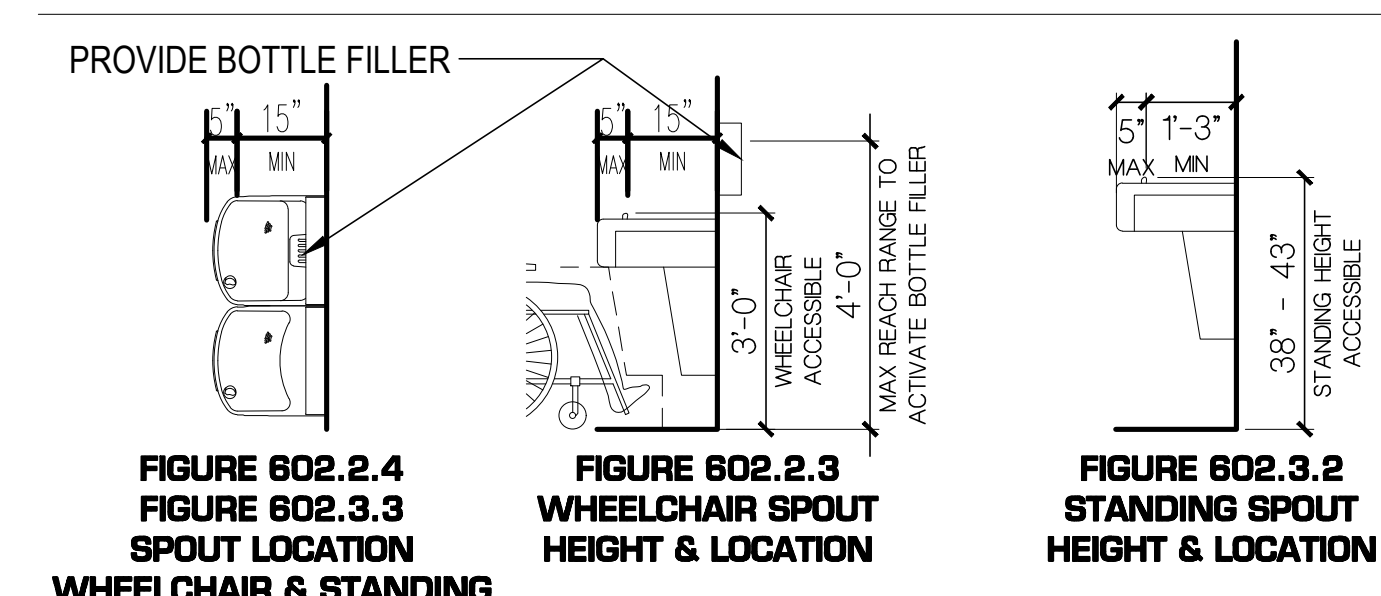
PROTECTION OBJECTS

ICC A117.1-2017, SECTION 307



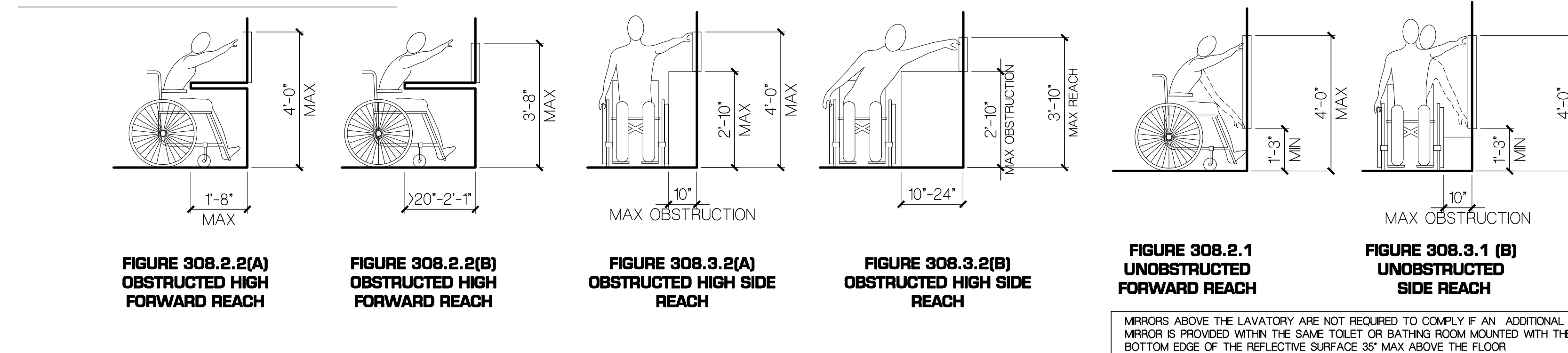
DRINKING FOUNTAINS & BOTTLE FILLING STATIONS

ICC A117.1-2017, SECTION 602



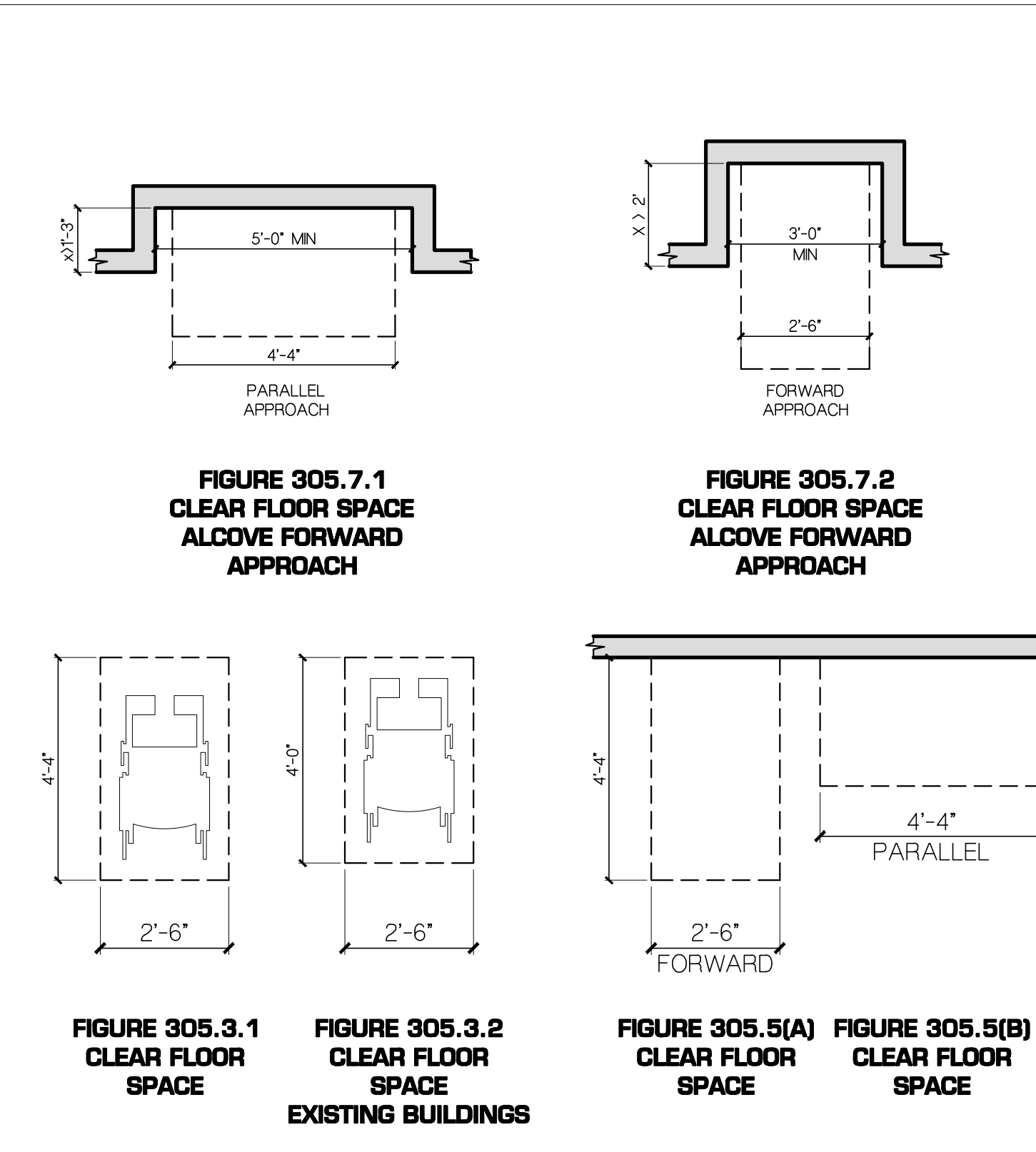
REACH RANGES

ICC A117.1-2017, SECTION 308



CLEAR FLOOR SPACE

ICC A117.1-2017, SECTION 305

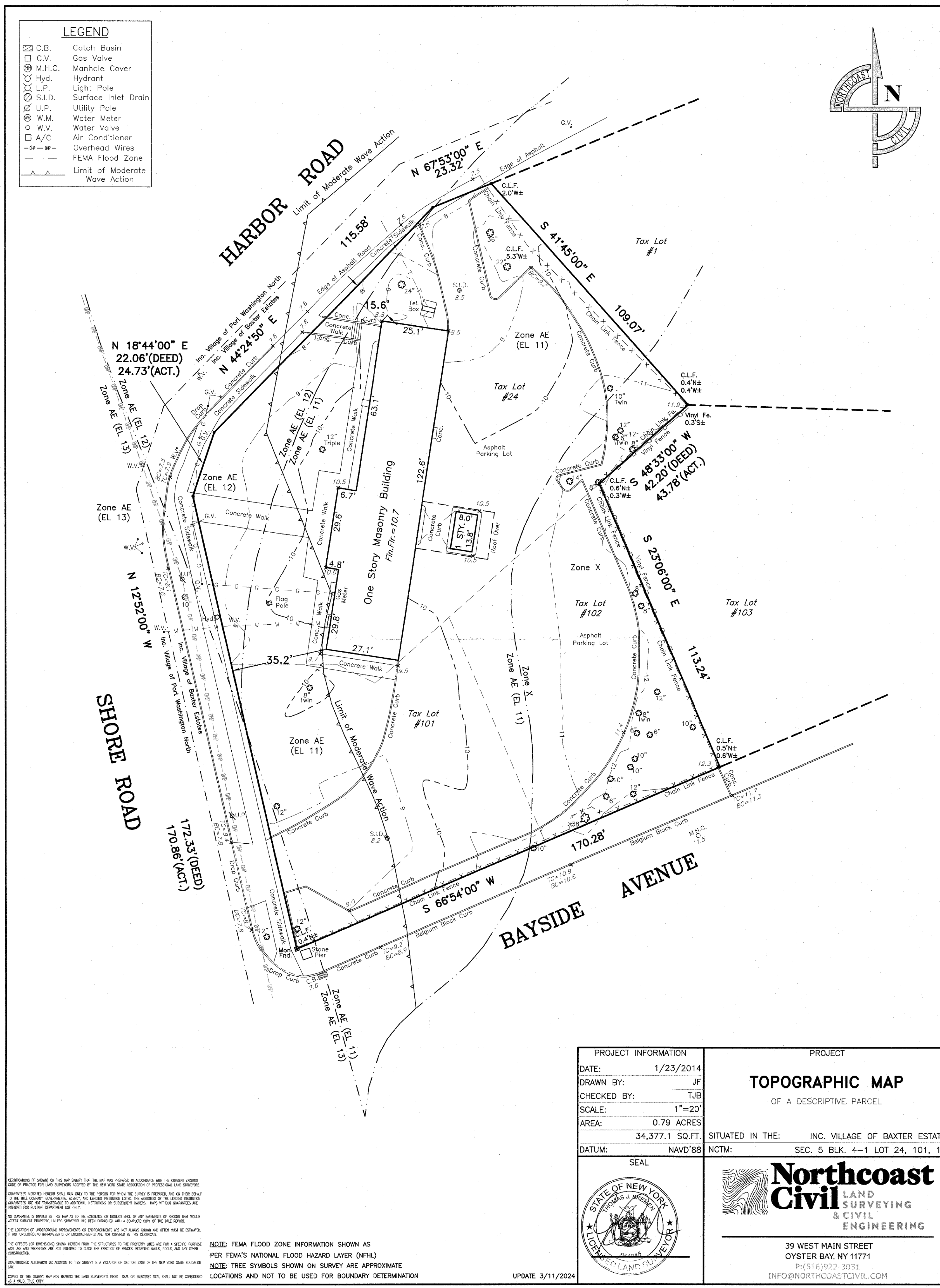


NOTES:

- ACCESSIBLE ROUTE**
THE MINIMUM CLEAR WIDTH OF AN ACCESSIBLE ROUTE SHALL COMPLY WITH SECTION 403.5.1, 403.5.2, 403.5.4 AS APPLICABLE.
- PROTRUDING OBJECTS**
307.2 OBJECTS PROJECTING FROM WALLS WITH THEIR LEADING EDGES BETWEEN 27" AND 80" ABOVE FINISHED FLOOR SHALL PROTRUDE NO MORE THAN 4" INTO WALKS, HALLS, CORRIDORS, ETC.
- 307.4 CIRCULATION SPACE SHALL HAVE 80" CLEAR HEADROOM.
- DOOR NOTES**
FOR A USER PASSAGE DOORWAY DOORS MUST COMPLY WITH THE REQUIREMENTS OF A117.1 2017 404:
1) CLEAR WIDTH (404.2.2)
2) MANEUVERING CLEARANCES (404.2.3)
3) FLOOR SURFACE (404.2.3.1)
4) THRESHOLDS (404.2.4)
5) DOOR HARDWARE (404.2.6)
6) DOOR OPENING FORCE (404.2.8)
7) DOOR SURFACE (404.2.9)
8) VISION LITES (404.2.10)
- 1) CLEAR WIDTH:
DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES (UNLESS NOTED OTHERWISE TO HAVE OPENING CAPABILITY OF MORE THAN 90) AND SHALL BE SO MOUNTED THAT CLEAR WIDTH OF DOORWAY IS NOT LESS THAN 32 INCHES.
- 2) MANEUVERING CLEARANCES:
SEE DIAGRAMS. DEPTH FROM FACE OF ADJACENT SURFACE TO FACE OF DOOR IS NOT TO EXCEED 8" IN DEPTH.
- 3) FLOOR SURFACE:
WITHIN THE MANEUVERING CLEARANCE FLOOR SURFACE MUST BE FLAT OR SLOPED NOT MORE THAN 1:48 AND MUST COMPLY WITH A117.1 302. FLOOR, RAMP, AND TREAD SURFACES SHALL BE SLIP RESISTANT.
- 4) THRESHOLDS:
THRESHOLDS SHALL NOT BE MORE THAN 1/2" HIGHER THAN ADJACENT FLOOR OR LANDING LEVEL CHANGE BETWEEN 1/4" AND 1/2" SHALL BE PROVIDED WITH SLOPE NO GREATER THAN 1:2. (404.2.4)
- 5) DOORS IN SERIES
DISTANCE BETWEEN DOORS IN SERIES SHALL BE AS PER DIAGRAMS. DOORS WITHIN DWELLING UNITS ARE NOT REQUIRED TO PROVIDE TURNING SPACE BETWEEN DOORS (NYCBC 1107.2.2, A117.1 1003.5 EX 3)
- 6) DOOR HARDWARE:
1. LATCHING AND LOCKING DOORS THAT ARE HAND ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE.
2. DOOR HARDWARE SHALL BE BETWEEN 34" AND 48" AFF. HARDWARE SHALL NOT PROTRUDE INTO CLEAR OPENING WIDTH BELOW 34" AFF.
- 7) DOOR OPENING FORCE:
MAXIMUM EFFORT TO OPERATE FIRE DOORS SHALL BE 15 LBS. AT OTHER INTERIOR DOORS MAXIMUM EFFORT TO OPERATE SHALL BE 5LBS (404.2.8).
- 8) DOOR SURFACE
1. DOOR SURFACES OF SWING DOORS WITHIN 10" OF THE FLOOR, MEASURED VERTICALLY, SHALL BE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN SUCH SURFACE SHALL BE WITHIN 1/8" OF THE SAME PLANE AS THE OTHER. (404.2.9)
2. TEMPERED GLASS DOORS WITHOUT STILES AND HAVING A BOTTOM RAIL OR SHOE WITH A TOP LEADING EDGE TAPERED AT NO LESS THAN 60 DEGREES FROM THE HORIZONTAL SHALL NOT BE REQUIRED TO COMPLY WITH THE 10-INCH BOTTOM RAIL REQUIREMENT (404.2.9 EX 2)
- 9) VISION LITES:
AT DOORS PROVIDING VISION LITES WITHIN OR ADJACENT TO THE DOOR AT LEAST ONE VISION PANEL MUST EXTEND TO 43" AFF MAX.

RAMP NOTES

- EXCEPTIONS TO 405.9.1 & 405.9.2
1. EDGE PROTECTION NOT REQUIRED IF
- RAMP NOT REQ. TO HAVE HANDRAILS & THAT TO HAVE FLARED SIDES COMPLYING WITH SECTION 406.3
- SERVING AN ADJOINING RAMP RUN OR STAIRWAY.
- HAVING A VERTICAL DROP-OFF OF 1/2" MAX WITHIN 10" HORIZONTALLY OF MIN LANDING AREA SPECIFIED IN SECTION 405.7
- RAMP PROVIDE ACCESS TO ADJACENT SEATS AND AISLE ACCESS WAYS.
- DOOR THRESHOLD NOTES**
1. 1/2" MAXIMUM TOTAL HEIGHT WITH
1/4" MAXIMUM VERTICAL CHANGE AT EDGE.
2. 1:2 SLOPED BEVEL REQUIRED IF LEVEL CHANGE IS OVER 1/4" VERTICAL.
3. 1/4" MAXIMUM VERTICAL LEVEL CHANGE.
4. CHANGES IN LEVEL GREATER THAN 1/2" IN HEIGHT SHALL BE RAMP PER FIGURE 303.3 COMPLYING WITH SECTION 505 OR CURB RAMP COMPLYING WITH SECTION 406
- DOOR THRESHOLD NOTES**
AT ALL LOCATIONS OF DRINKING FOUNTAINS PROVIDE DRINKING SPOUTS AT A HEIGHT FOR A STANDING USER AND A SEATED USER, AND A BOTTLE FILLER.

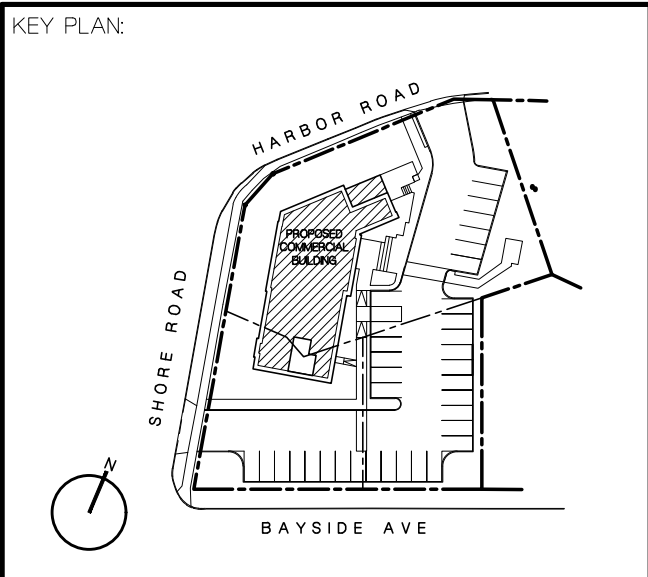


LEGEND
 C.B. Catch Basin
 G.V. Gas Valve
 M.H.C. Manhole Cover
 Hyd. Hydrant
 L.P. Light Pole
 S.I.D. Surface Inlet Drain
 U.P. Utility Pole
 W.M. Water Meter
 W.V. Water Valve
 A/C Air Conditioner
 Overhead Wires
 FEMA Flood Zone
 Limit of Moderate Wave Action

PROJECT INFORMATION		PROJECT	
DATE:	1/23/2014	TOPOGRAPHIC MAP	
DRAWN BY:	JF	OF A DESCRIPTIVE PARCEL	
CHECKED BY:	TJB		
SCALE:	1"=20'		
AREA:	0.79 ACRES		
	34,377.1 SQ.FT.		
DATUM:	NAVD'88	SITUATED IN THE: INC. VILLAGE OF BAXTER ESTATES	
		SEC. 5 BLK. 4-1 LOT 24, 101, 102	
SEAL		SEAL	
		Northcoast Civil LAND SURVEYING & CIVIL ENGINEERING 39 WEST MAIN STREET OYSTER BAY, NY 11771 P:(516)922-3031 INFO@NORTHCOASTCIVIL.COM	

SITE PLAN REVIEW APPLICATION

DATE: APR 20 2026

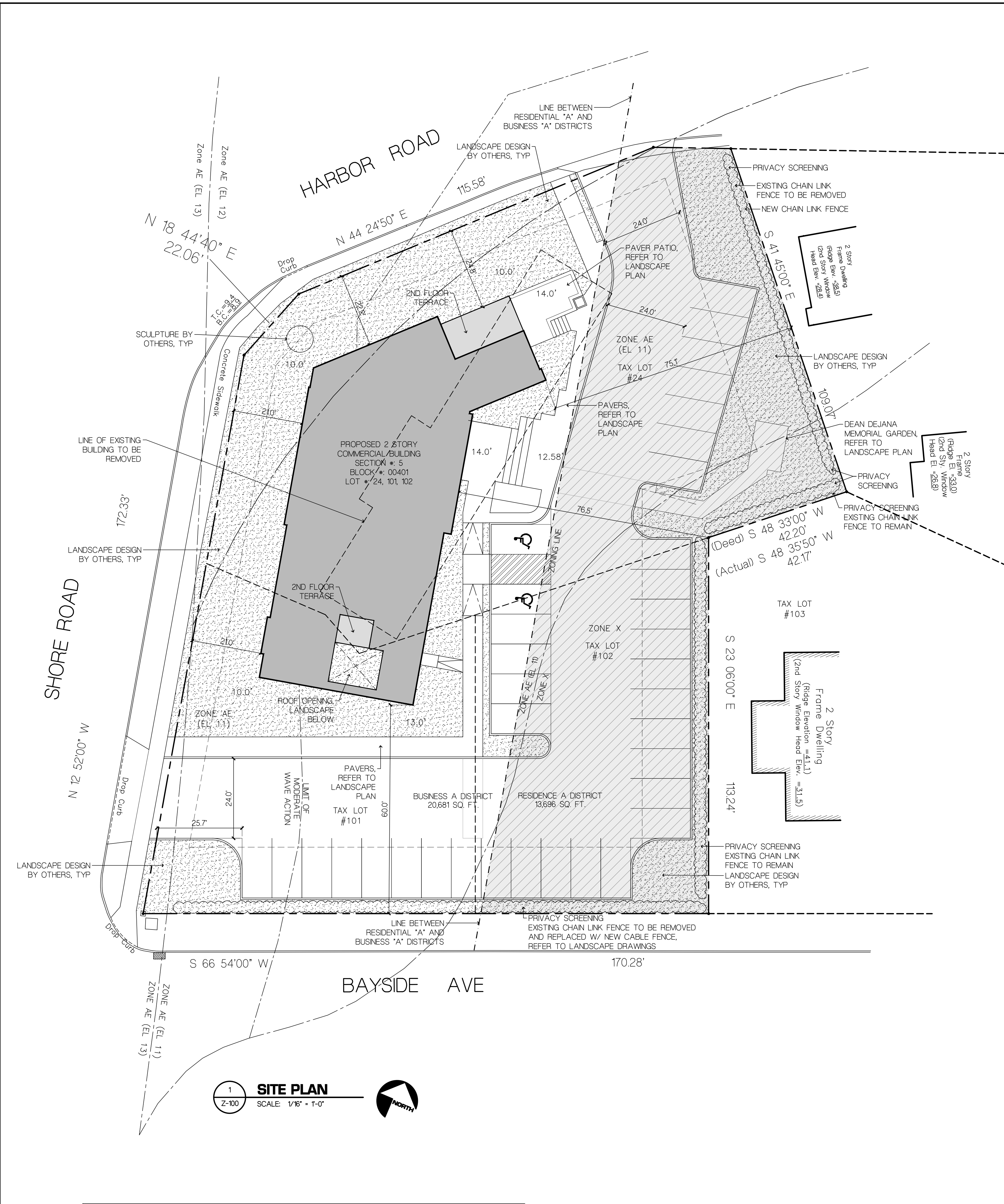


PROPOSED OFFICE BUILDING
25 SHORE ROAD
PORT WASHINGTON, NY 11050

SCALE: AS SHOWN
 DATE: DEC 05 2025
 DRAWN BY: GLC / BS
 PROJECT NUMBER: 202421

SITE SURVEY

DRAWING NUMBER:
T-010



PROPERTY INFORMATION & SITE DESCRIPTION

PROPERTY ADDRESS	25 SHORE RD. PORT WASHINGTON, 11050
SECTION	5
BLOCK	00401
LOT	24, 101, 102
PARCEL SIZE	34,377.1 S.F. / 0.79 ACRES
	BUSINESS "A" - 20,681.0 S.F. RESIDENTIAL "A" - 13,696.1 S.F.

ZONING CLASSIFICATION

JURISDICTION	VILLAGE OF BAXTER ESTATES
EXISTING ZONING	RESIDENTIAL "A" / BUSINESS "A"

PERMITTED USES

	BUSINESSES "A"	RESIDENTIAL "A"	EXISTING	PROPOSED
USES	OFFICES	SINGLE FAMILY RESIDENCE, ECT.	OFFICES	OFFICE

HEIGHTS

	BUSINESSES "A"	RESIDENTIAL "A"	EXISTING	PROPOSED
MAXIMUM BUILDING HEIGHT	3 STORIES / 40 FT	2 1/2 STORIES / 30 FT	1 STORY	2 STORIES / 31.5 FT
AVG. MEAN GRADE	$10 + 10 + 14 + 13.2 + 14 + 13 = 84.2 / 7 = 12.0'$			

LOT

	BUSINESSES "A"	RESIDENTIAL "A"	EXISTING	PROPOSED
LOT SIZE	-	8,500 S.F. MIN	34,377.1 S.F. / 0.79 ACRES	NO CHANGE
MINIMUM LOT FRONTAGE	-	85 FT. MIN	334.49 FT.	NO CHANGE

SETBACKS

	BUSINESSES "A"	RESIDENTIAL "A"	EXISTING	PROPOSED
FRONT YARD HARBOR RD	10.0 FT. MIN.	35.0 FT. MIN.	15.6 FT.	24.8 FT.
FRONT YARD SHORE RD	10.0 FT. MIN.	30.0 FT. MIN.	35.2 FT.	21.0 FT.
FRONT YARD BAYSIDE AVE	10.0 FT. MIN.	30.0 FT. MIN.	82.7 FT.	60.0 FT.
REAR YARD	20.0 FT. MIN.	20.0 FT. MIN.	63.6 FT.	76.5 FT.
SIDE YARD	25.0 FT. MIN.	35.0 FT. MIN.	47.9 FT.	75.1 FT.

AREA CALCULATION

	BUSINESSES "A"	RESIDENTIAL "A"	EXISTING	PROPOSED
BUILDING AREA	70% OF LOT AREA = 24,063.97 S.F.	25% OF LOT AREA = 8,594.28 S.F.	3,331.67 S.F. (9.7%)	5,246 S.F. (15.3%) (SEE NOTE)
FLOOR AREA	-	31% OF LOT AREA = 10,656.9 S.F.	3,331.67 S.F. (9.7%)	8,575 S.F. (24.9%) (SEE NOTE)

NOTE: REFER TO SHEET Z-101 FOR FLOOR AREA / BUILDING AREA CALCULATIONS

PARKING CALCULATION

	BUSINESSES "A"	RESIDENTIAL "A"	EXISTING	PROPOSED
PARKING REQ.	1 FOR EACH 200 SF. OF FLOOR AREA	-	-	36
	8,575 / 200 = 43 SPACES			

NOTE: PER VOBE ZONING CODE SECTION 175-46 OFF-STREET PARKING (C). - ALL PARKING SPACES TO BE 9'x18' TYPICAL, UNLESS OTHERWISE NOTED.

ACCESSIBLE PARKING SPACES

	BUSINESSES "A"	RESIDENTIAL "A"	EXISTING	PROPOSED
PARKING SPACES NYS 2020 BC SECTION 1106.1	26-50 SPACES = 2 ADA SPACES		-	2 SPACES

MOJO•STUMER ASSOCIATES, P.C.
 WWW.MOJOSTUMER.COM
 14 Plaza Road (t) 516.625.3344
 Greenvale, NY 11548

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LANDSCAPE ARCHITECT:
pla piscitelli
 landscape architecture
 JOSEPH PISCITELLI, P.L.A., A.S.A.
 PISCITELLI LANDSCAPE ARCHITECTURE, PLLC
 TEL: (516) 902-0500

APR 20, 2026 REVISIONS PER VOBE COMMENTS

SITE PLAN REVIEW APPLICATION

DATE: APR 20 2026

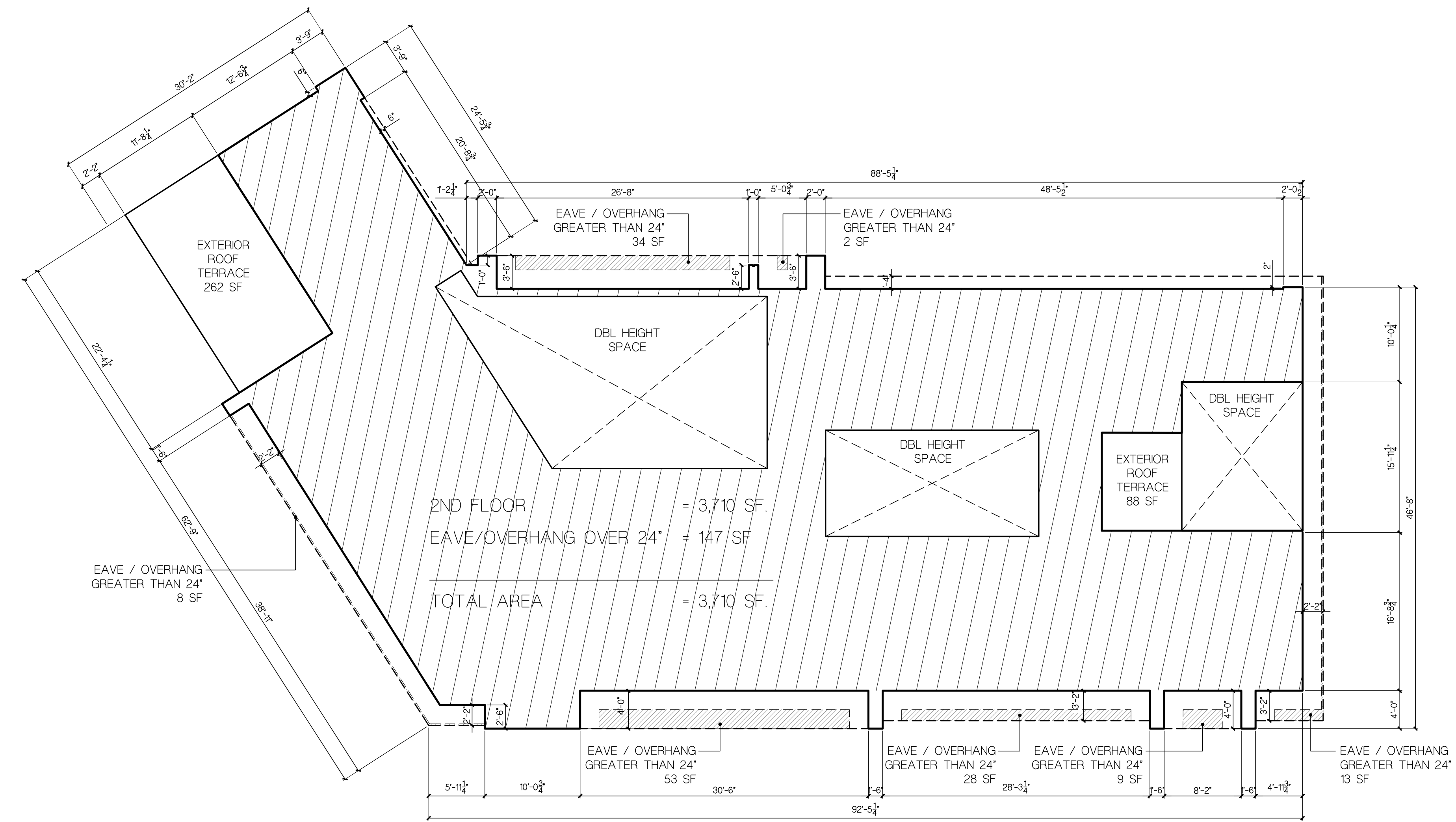
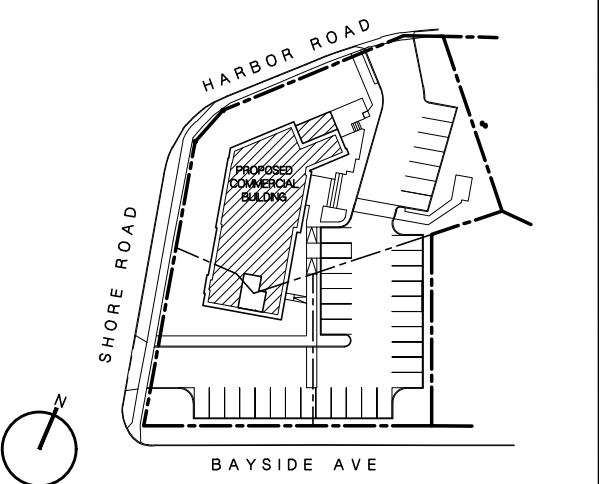
KEY PLAN:

PROJECT TITLE:
PROPOSED OFFICE BUILDING
 25 SHORE ROAD
 PORT WASHINGTON, NY 11050

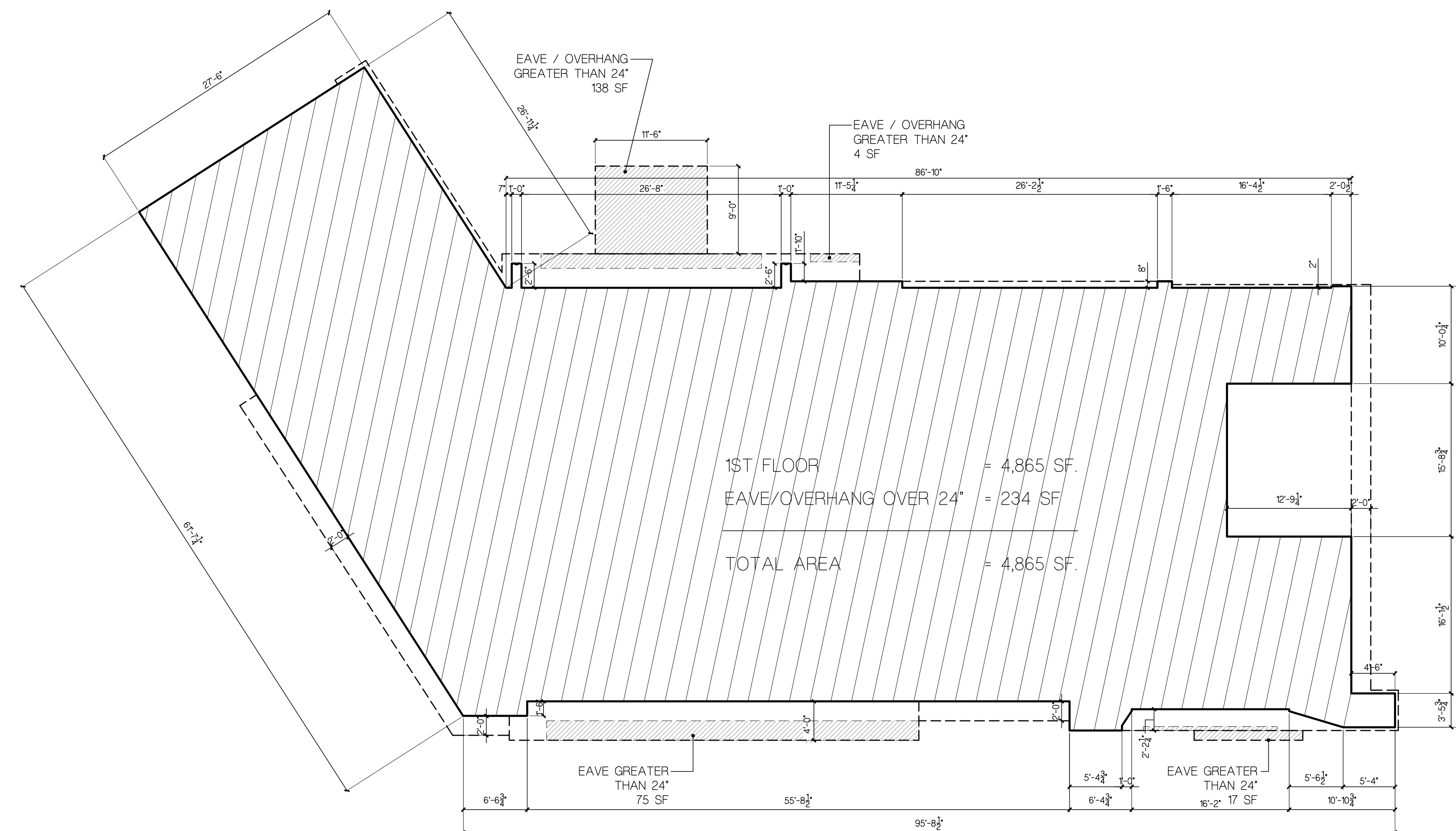
SCALE:
 AS SHOWN
 DATE:
 DEC 05 2025
 DRAWN BY:
 GLC / BS
 PROJECT NUMBER:
 202421

DRAWING TITLE:
ZONING CALCULATIONS AND PLOT PLAN

DRAWING NUMBER:
Z-100

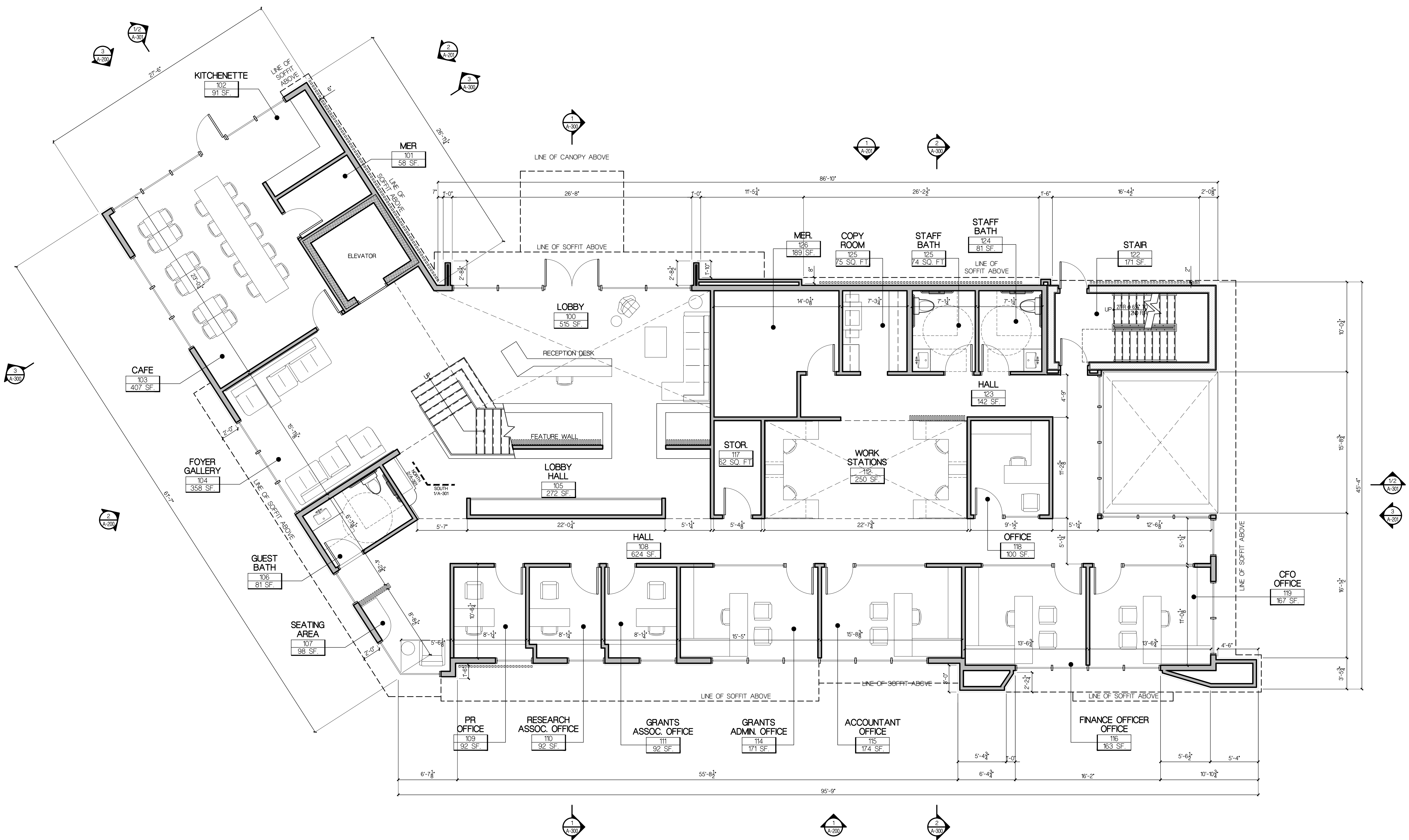


B SECOND FLOOR AREA CALCULATIONS
SCALE: 1/8" = 1'-0"



A FIRST FLOOR AREA CALCULATIONS
SCALE: 1/8" = 1'-0"

FLOOR / BUILDING AREA		
AREA	FLOOR AREA	BUILDING AREA
FIRST FLOOR	4,865 SQ. FT.	4,865 SQ. FT.
EAVES / OVERHANGS > 24"	EXCLUDED	234 SQ. FT.
SECOND FLOOR	3,710 SQ. FT.	EXCLUDED
EAVES / OVERHANGS > 24"	EXCLUDED	147 SQ. FT.
EXTERIOR OPEN TERRACE	EXCLUDED	EXCLUDED
TOTAL AREA	8,575 SQ. FT.	5,246 SQ. FT.



1 FIRST FLOOR CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"

CONSTRUCTION LEGEND:

- INDICATES EXISTING WALL TO REMAIN
- INDICATES NEW FRAMED WALL
- HATCH INDICATES NEW CONCRETE BLOCK WALL
- - - - - INDICATES LINE OF NEW SOFFIT ABOVE
- - - - - INDICATES LINE OF BUILDING ABOVE
- - - - - INDICATES LINE OF BUILDING BELOW
- - - - - INDICATES REQUIRED ANSI 1171 CLEARANCES
- XX - INDICATES DOOR TAG
SEE DOOR SCHEDULE & DETAILS ON DWG/A-700
- XX - INDICATES WINDOW TAG
SEE WINDOW SCHEDULE & DETAILS ON DWG/A-700
- - - - - INDICATES PARTITION TAG
SEE PARTITION TYPES & DETAILS ON DWG/T-105
- - - - - INDICATES NEW DOOR

- PARTITION NOTES:**
1. ALL DIMENSIONS TAKEN TO ROUGH FRAMING OR FACE OF MASONRY UNLESS SPECIFICALLY NOTED OTHERWISE. DIMENSIONS FROM EXISTING WALLS ARE TAKEN TO EXISTING FINISH.
 2. COORDINATE FRAMING DIMENSIONS WITH ENLARGED CABINETRY PLANS AND REFLECTED CEILING PLAN DESIGNS.
 3. ALL BATHROOMS TO HAVE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON WALLS & CEILINGS.
 4. ALL SHOWER WALLS TO HAVE 1/2" CEMENT BOARD ON WALLS & CEILINGS.
 5. ALL DUCT PENETRATIONS ARE TO HAVE FIRE DAMPERS AT ALL RATED CONSTRUCTION.
 6. ALL WALL AREA TO BE INFILLED SHALL MATCH EXISTING CONSTRUCTION AND BE FLUSH ON BOTH SIDES.
 7. ALL WALL AREA & COLUMNS THAT ARE EXISTING TO REMAIN ARE TO BE PREPARED AS REQUIRED FOR NEW FINISHES WHICH MAY INCLUDE INSTALLATION OF NEW GYP. BD. OR SKIM COATING SURFACE.
 8. ANY DAMAGED EXISTING FRAMING TO BE REPLACE WITH NEW FRAMING AT NO ADDITIONAL COST TO OWNER.
 9. ALL EXISTING WALLS & CEILINGS THAT ARE TO REMAIN IN THE AREA OF WORK MUST BE COMPLETELY SHEATHED AND ALL OPENINGS IN BLOCK WALLS MUST BE PATCHED TO MATCH THE CONSTRUCTION QUALITY OF THE PROPOSED NEW WALLS & CEILINGS, OR PLASTERED PRIOR TO INSTALLATION OF CABINETRY. THE INTEGRITY OF THE FIRE RATING OF ALL DEMISING WALLS MUST BE MAINTAINED.
 10. WHERE CHASES, SHAFTS, DEMISING WALLS AND STRUCTURAL ELEMENTS ARE OPENED DURING CONSTRUCTION, PROVIDE FRESTOPPING AS REQUIRED BY CODE AT ALL EXISTING OR NEW OPENINGS. A UL RATED FRESTOPPING SYSTEM IS TO BE PROVIDED AS MANUFACTURED BY STI, H-11 OR EQUAL (UL RATING ON SUBSTITUTIONS IS REQUIRED). FRESTOPPING MUST BE COMPLETED ONCE DEMOLITION HAS BEEN COMPLETED.

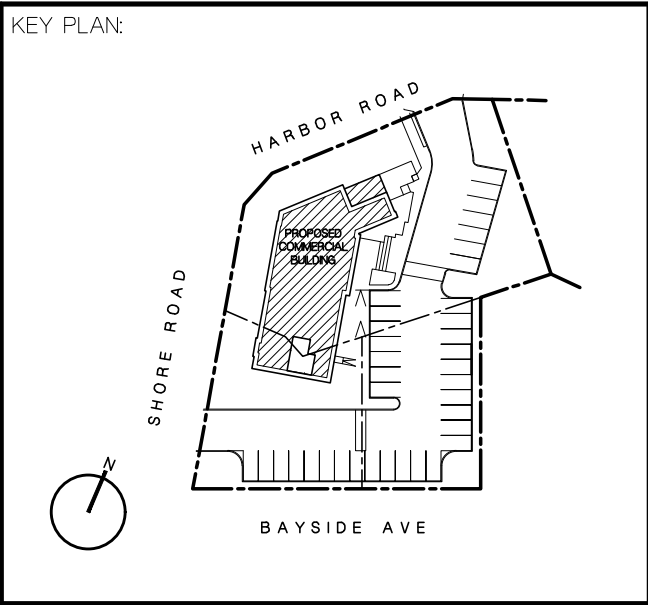
FIRE PREVENTION LEGEND:

- INDICATES SMOKE DETECTOR
- INDICATES CEILING MOUNTED EXIT SIGN
- PFE - INDICATES PORTABLE FIRE EXTINGUISHER MAX TRAVEL DISTANCE TO EXTINGUISHER NOT TO EXCEED 75 FEET.
- INDICATES RECESSED FIRE EXTINGUISHER CABINET

APR 20, 2026 REVISIONS PER VOBE COMMENTS

SITE PLAN REVIEW APPLICATION

DATE: APR 20 2026



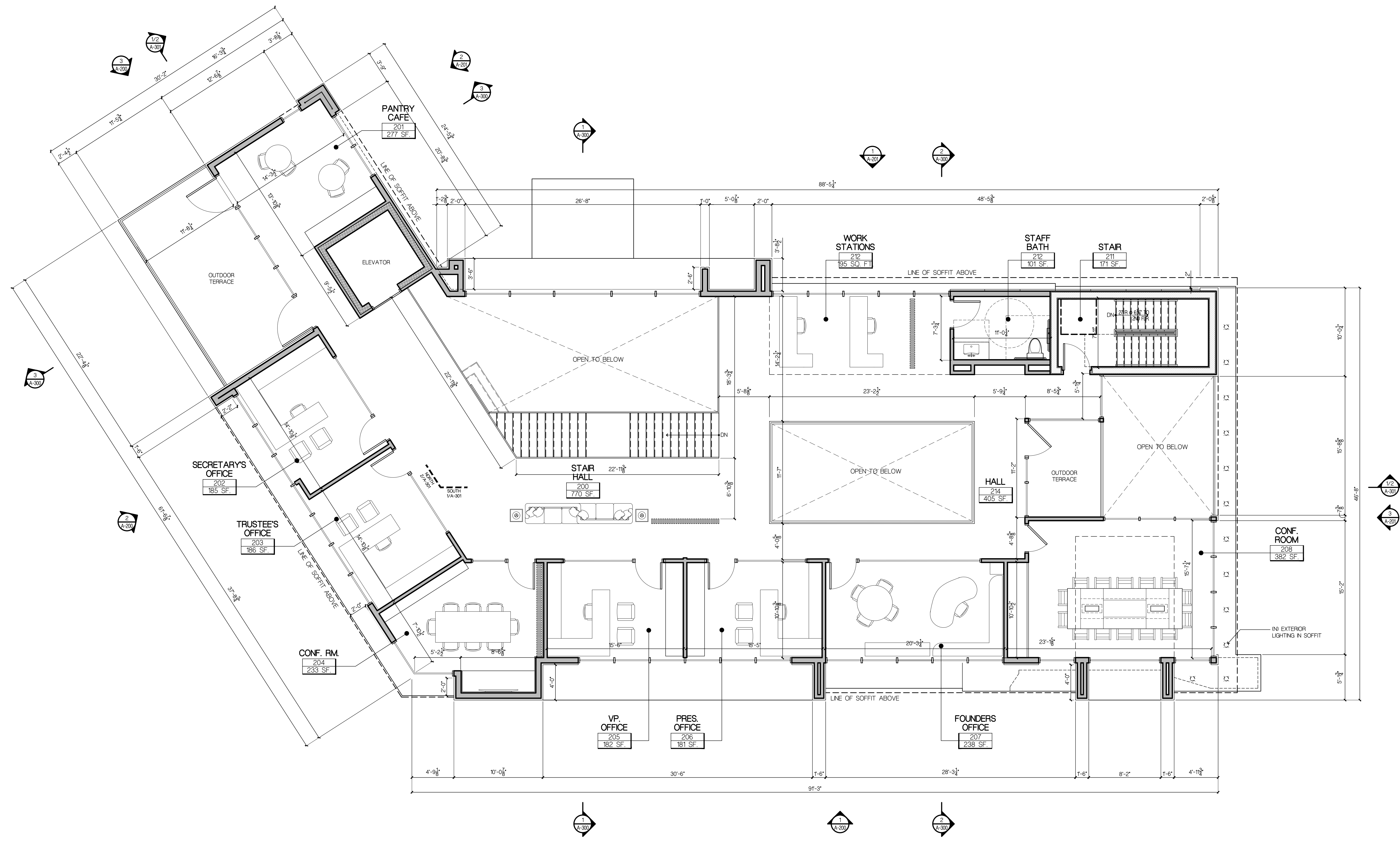
PROPOSED OFFICE BUILDING
25 SHORE ROAD
PORT WASHINGTON, NY 11050

PROJECT TITLE:
DATE:
DRAWN BY:
PROJECT NUMBER:

AS SHOWN
DEC 05 2025
GLC / BS
202421

FIRST FLOOR CONSTRUCTION PLAN

DRAWING NUMBER:
A-101



1 SECOND FLOOR CONSTRUCTION PLAN
SCALE: 3/16" = 1'-0"

CONSTRUCTION LEGEND:

- INDICATES EXISTING WALL TO REMAIN
- INDICATES NEW FRAMED WALL
- HATCH INDICATES NEW CONCRETE BLOCK WALL
- - - - - INDICATES LINE OF NEW SOFFIT ABOVE
- - - - - INDICATES LINE OF BUILDING ABOVE
- - - - - INDICATES LINE OF BUILDING BELOW
- - - - - INDICATES REQUIRED ANSI 1171 CLEARANCES
- XX - INDICATES DOOR TAG
SEE DOOR SCHEDULE & DETAILS ON DWG/A-700
- XX - INDICATES WINDOW TAG
SEE WINDOW SCHEDULE & DETAILS ON DWG/A-700
- X - INDICATES PARTITION TAG
SEE PARTITION TYPES & DETAILS ON DWG/T-105
- - - - - INDICATES NEW DOOR

- PARTITION NOTES:**
1. ALL DIMENSIONS TAKEN TO ROUGH FRAMING OR FACE OF MASONRY UNLESS SPECIFICALLY NOTED OTHERWISE. DIMENSIONS FROM EXISTING WALLS ARE TAKEN TO EXISTING FINISH.
 2. COORDINATE FRAMING DIMENSIONS WITH ENLARGED CABINETRY PLANS AND REFLECTED CEILING PLAN DESIGNS.
 3. ALL BATHROOMS TO HAVE 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD ON WALLS & CEILINGS.
 4. ALL SHOWER WALLS TO HAVE 1/2" CEMENT BOARD ON WALLS & CEILINGS.
 5. ALL DUCT PENETRATIONS ARE TO HAVE FIRE DAMPERS AT ALL RATED CONSTRUCTION.
 6. ALL WALL AREA TO BE INFILLED SHALL MATCH EXISTING CONSTRUCTION AND BE FLUSH ON BOTH SIDES.
 7. ALL WALL AREA & COLUMNS THAT ARE EXISTING TO REMAIN ARE TO BE PREPARED AS REQUIRED FOR NEW FINISHES WHICH MAY INCLUDE INSTALLATION OF NEW GYP. BD. OR SKIM COATING SURFACE.
 8. ANY DAMAGED EXISTING FRAMING TO BE REPLACE WITH NEW FRAMING AT NO ADDITIONAL COST TO OWNER.
 9. ALL EXISTING WALLS & CEILINGS THAT ARE TO REMAIN IN THE AREA OF WORK MUST BE COMPLETELY SHEATHED AND ALL OPENINGS IN BLOCK WALLS MUST BE PATCHED TO MATCH THE CONSTRUCTION QUALITY OF THE PROPOSED NEW WALLS & CEILINGS, OR PLASTERED PRIOR TO INSTALLATION OF CABINETRY. THE INTEGRITY OF THE FIRE RATINGS OF ALL DEMISING WALLS MUST BE MAINTAINED.
 10. WHERE CHASES, SHAFTS, DEMISING WALLS AND STRUCTURAL ELEMENTS ARE OPENED DURING CONSTRUCTION, PROVIDE FRESTOPPING AS REQUIRED BY CODE AT ALL EXISTING OR NEW OPENINGS. A UL RATED FRESTOPPING SYSTEM IS TO BE PROVIDED AS MANUFACTURED BY STI, H-11 OR EQUAL (UL RATING ON SUBSTITUTIONS IS REQUIRED). FRESTOPPING MUST BE COMPLETED ONCE DEMOLITION HAS BEEN COMPLETED.

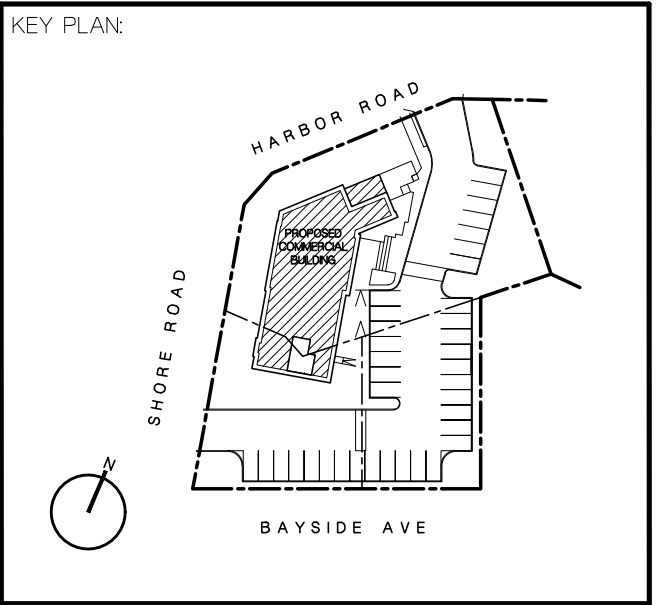
FIRE PREVENTION LEGEND:

- INDICATES SMOKE DETECTOR
- INDICATES CEILING MOUNTED EXIT SIGN
- PFE - INDICATES PORTABLE FIRE EXTINGUISHER MAX TRAVEL DISTANCE TO EXTINGUISHER NOT TO EXCEED 75 FEET.
- INDICATES RECESSED FIRE EXTINGUISHER CABINET

APR 20, 2026 REVISIONS PER VOBE COMMENTS

SITE PLAN REVIEW APPLICATION

DATE: APR 20 2026



PROJECT TITLE:
PROPOSED OFFICE BUILDING
25 SHORE ROAD
PORT WASHINGTON, NY 11050

SCALE: AS SHOWN
DATE: DEC 05 2025
DRAWN BY: GLC / BS
PROJECT NUMBER: 202421

SECOND FLOOR CONSTRUCTION PLAN

DRAWING NUMBER:
A-102

APR 20, 2026 REVISIONS PER VOBE COMMENTS

REVISION:

SITE PLAN REVIEW APPLICATION

DATE: APR 20 2026

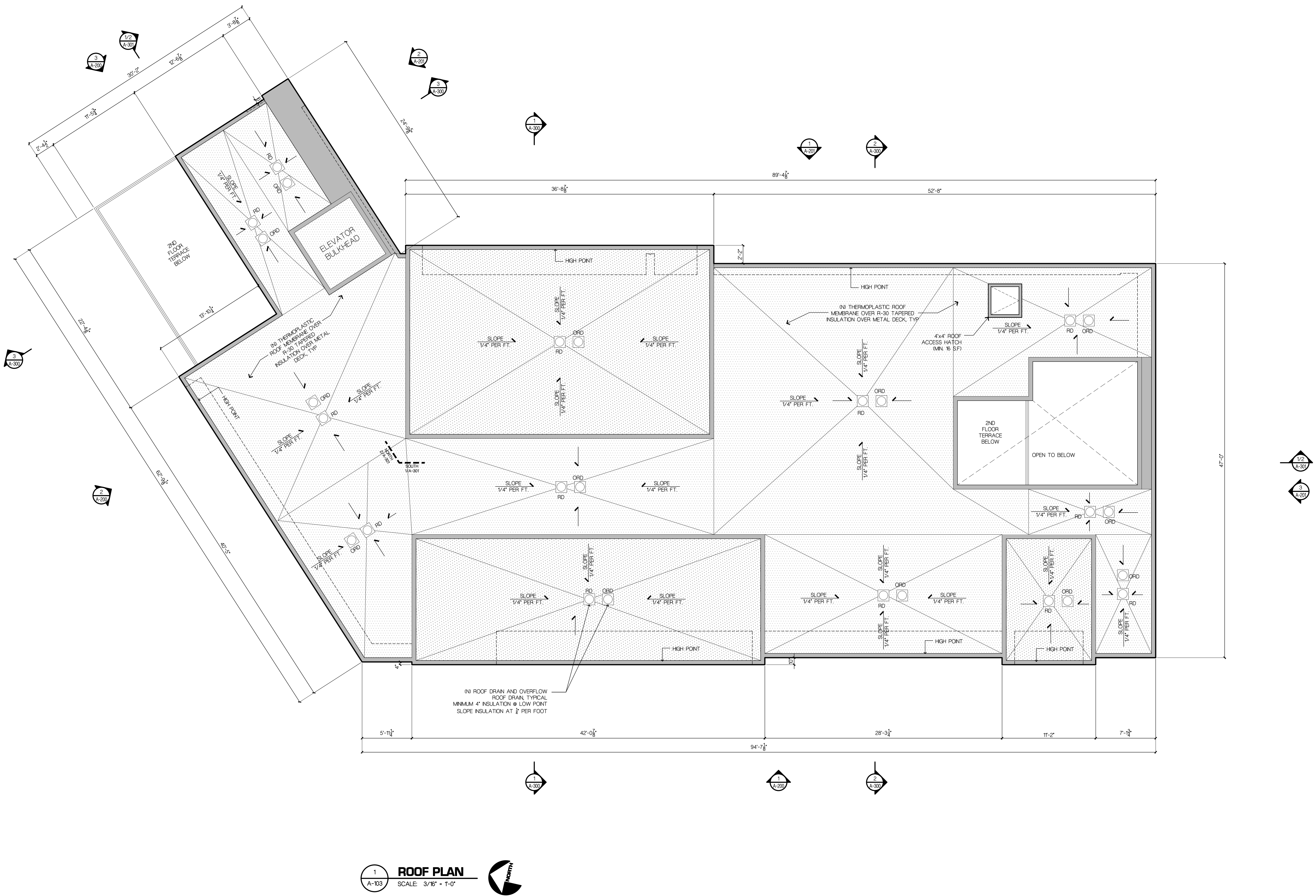
KEY PLAN:

PROJECT TITLE:
PROPOSED OFFICE BUILDING
25 SHORE ROAD
PORT WASHINGTON, NY 11050

SCALE: AS SHOWN
DATE: DEC 05 2025
DRAWN BY: GLC / BS
PROJECT NUMBER: 202421

DRAWING TITLE:
ROOF PLAN

DRAWING NUMBER:
A-103



1 ROOF PLAN
SCALE: 3/16" = 1'-0"

CONSTRUCTION LEGEND:

- INDICATES EXISTING WALL TO REMAIN
- INDICATES NEW FRAMED WALL
- HATCH INDICATES NEW CONCRETE BLOCK WALL
- - - - - INDICATES LINE OF NEW SOFFIT ABOVE
- - - - - INDICATES LINE OF BUILDING ABOVE
- - - - - INDICATES LINE OF BUILDING BELOW
- - - - - INDICATES REQUIRED ANSI 1171 CLEARANCES
- INDICATES DOOR TAG
SEE DOOR SCHEDULE & DETAILS ON DWG/A-700
- INDICATES WINDOW TAG
SEE WINDOW SCHEDULE & DETAILS ON DWG/A-700
- INDICATES PARTITION TAG
SEE PARTITION TYPES & DETAILS ON DWG/T-105
- INDICATES NEW DOOR

- PARTITION NOTES:**
1. ALL DIMENSIONS TAKEN TO ROUGH FRAMING OR FACE OF MASONRY UNLESS SPECIFICALLY NOTED OTHERWISE. DIMENSIONS FROM EXISTING WALLS ARE TAKEN TO EXISTING FINISH.
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FIRE PREVENTION LEGEND:

- INDICATES SMOKE DETECTOR
- INDICATES CEILING MOUNTED EXIT SIGN
- PFE INDICATES PORTABLE FIRE EXTINGUISHER MAX TRAVEL DISTANCE TO EXTINGUISHER NOT TO EXCEED 75 FEET
- INDICATES RECESSED FIRE EXTINGUISHER CABINET

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CIVIL ENGINEER:



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PISCITELLI LANDSCAPE ARCHITECTURE, P.L.L.C.
TEL: (516) 903-6559

APR 20, 2026 REVISIONS PER VOBE COMMENTS

REVISION:

SITE PLAN REVIEW APPLICATION

DATE: APR 20 2026

KEY PLAN:



PROJECT TITLE:

PROPOSED OFFICE BUILDING
25 SHORE ROAD
PORT WASHINGTON, NY 11050

SCALE:

AS SHOWN

DATE:

DEC 05 2025

DRAWN BY:

GLC / BS

PROJECT NUMBER:

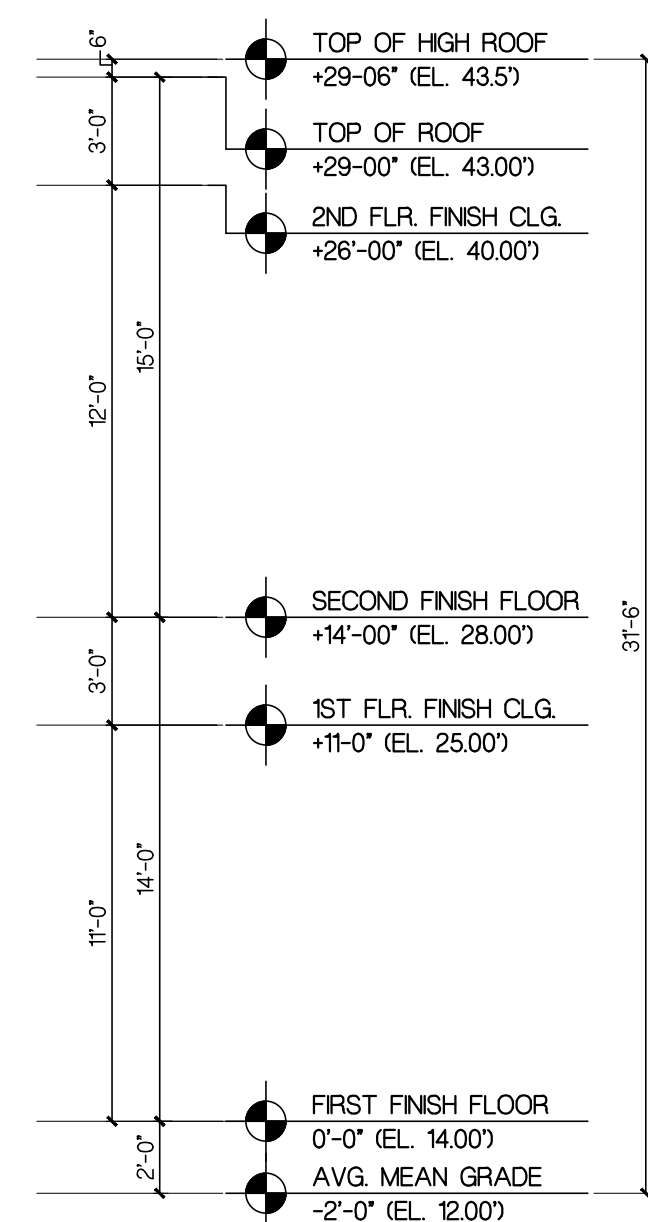
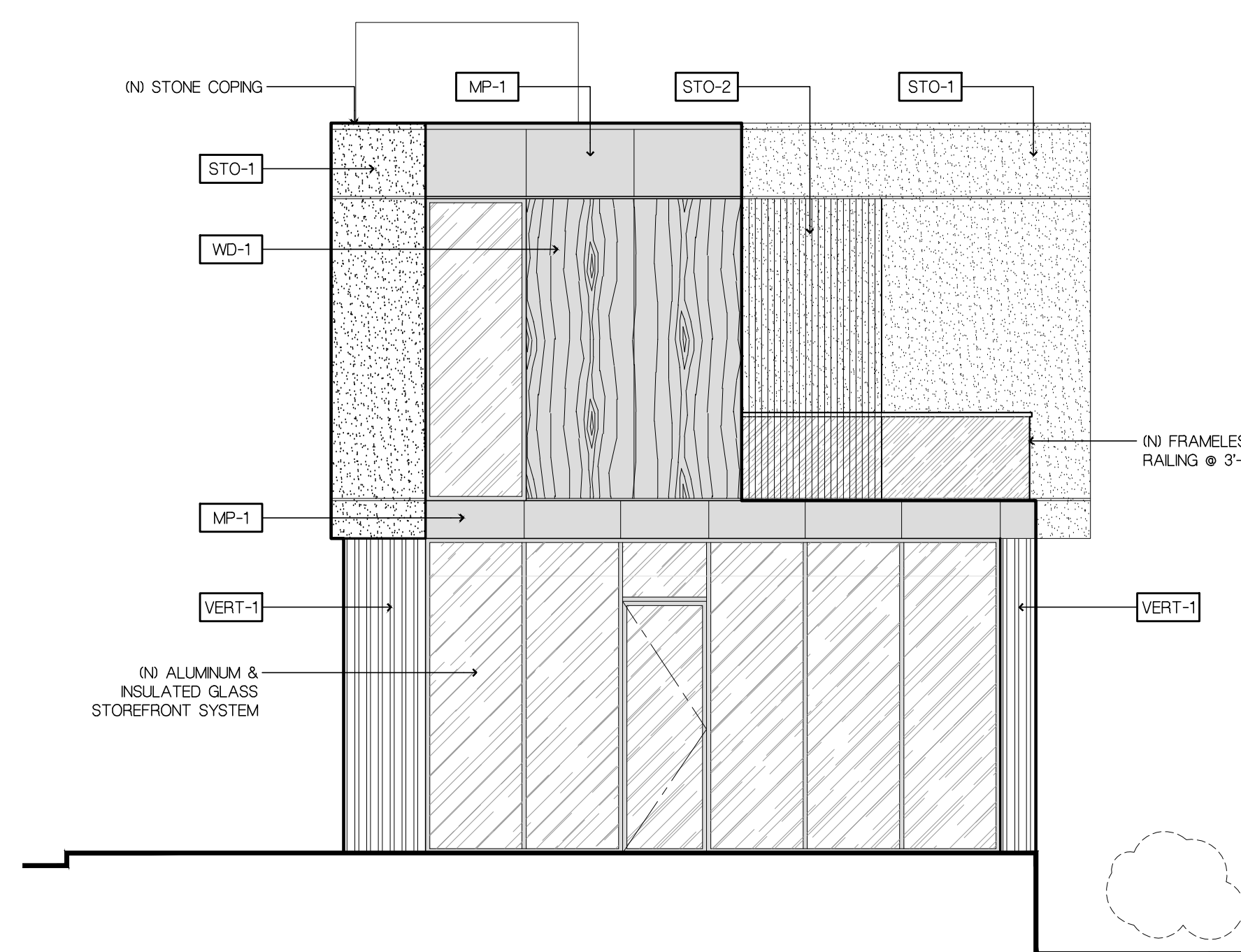
202421

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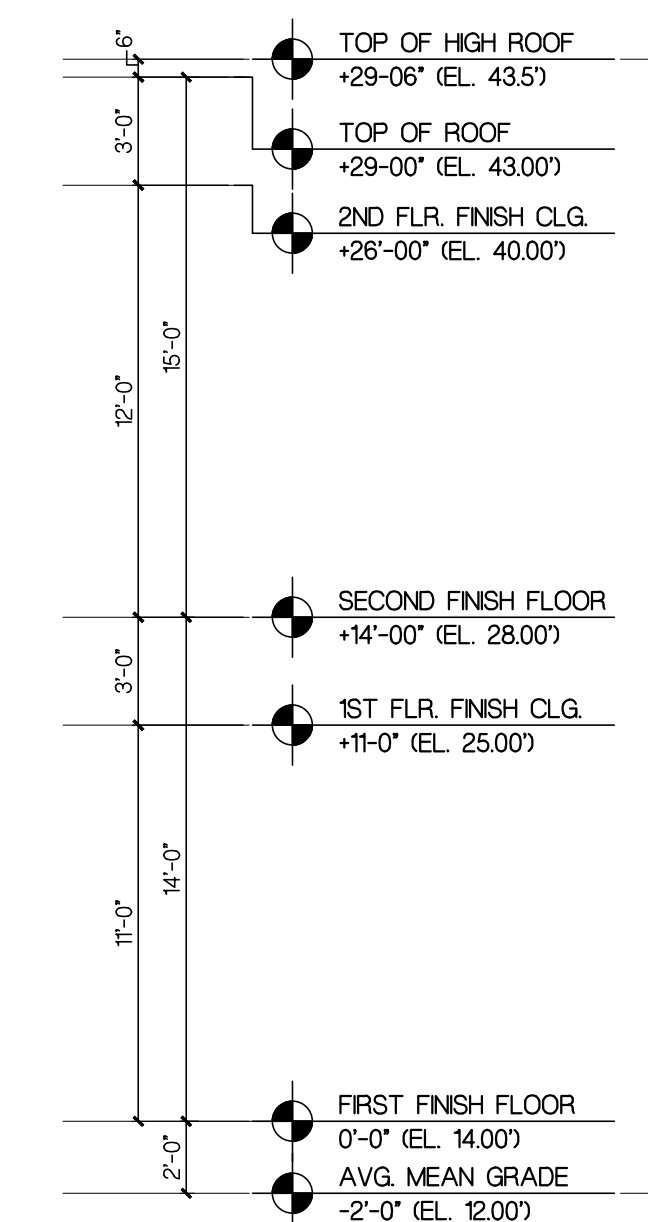
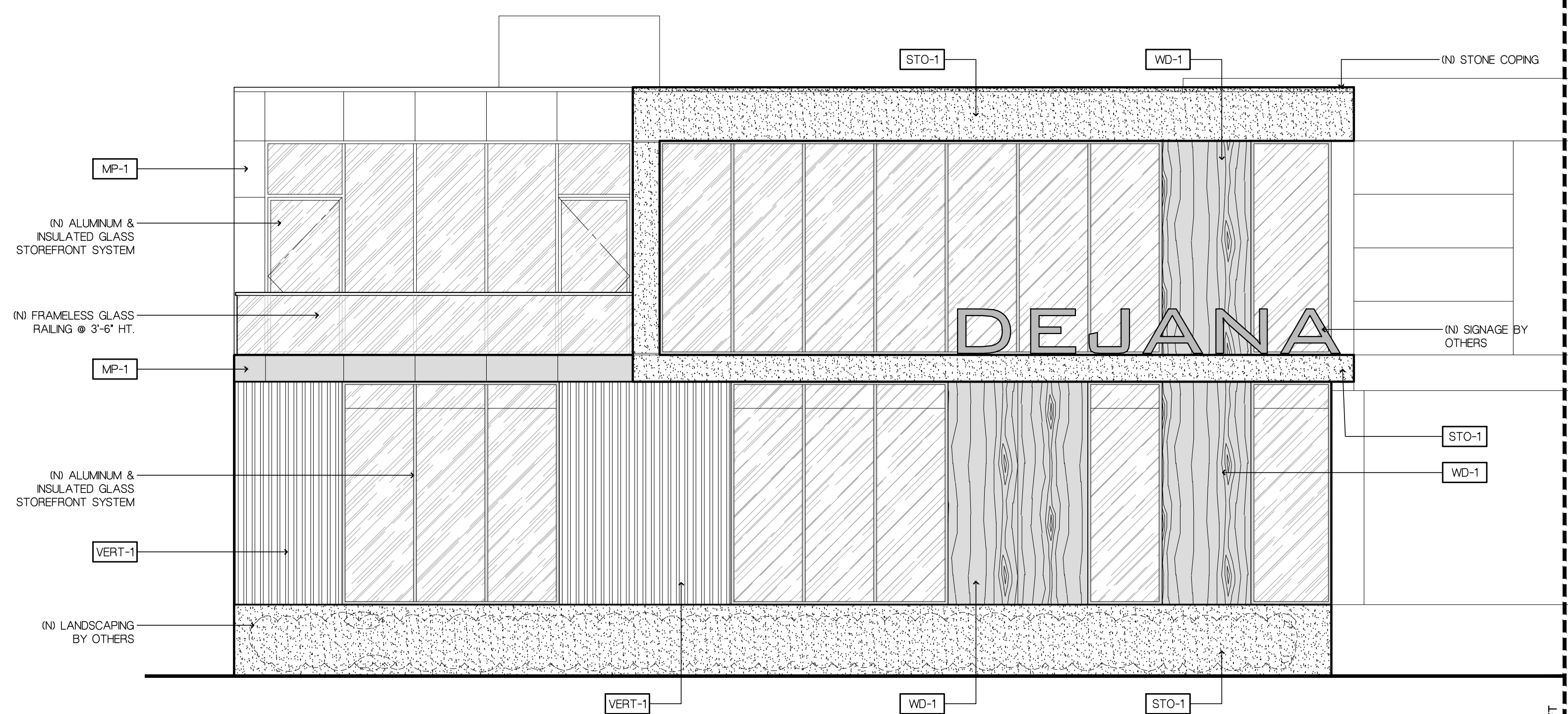
BUILDING ELEVATIONS

DRAWING NUMBER:

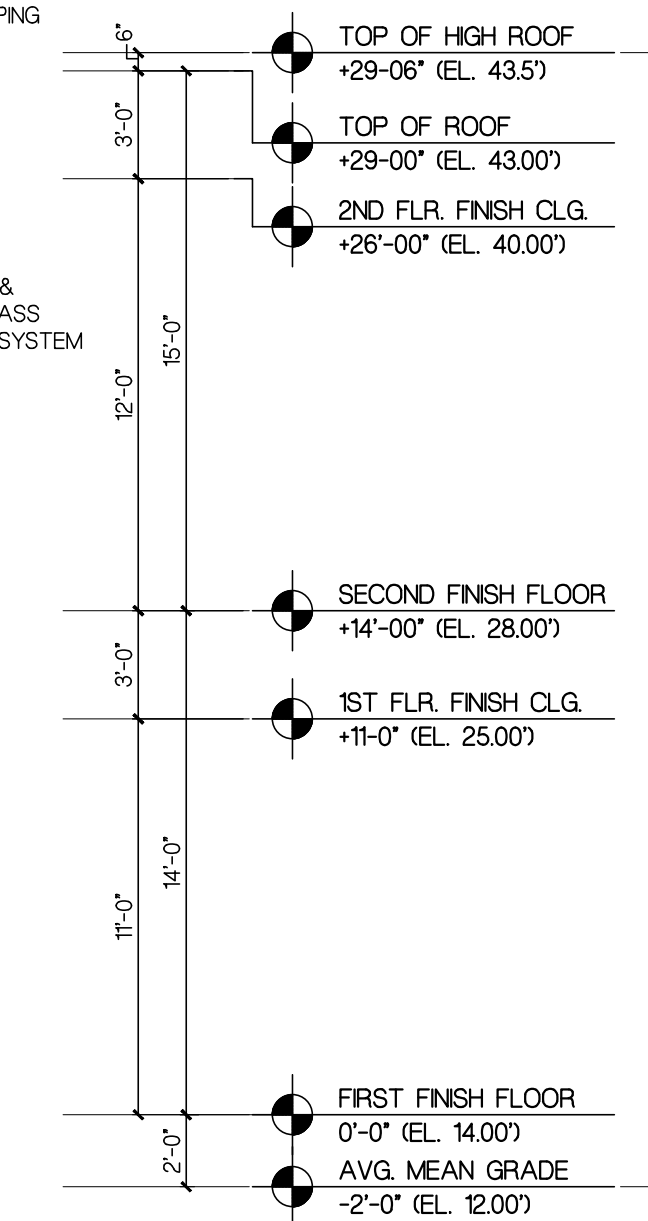
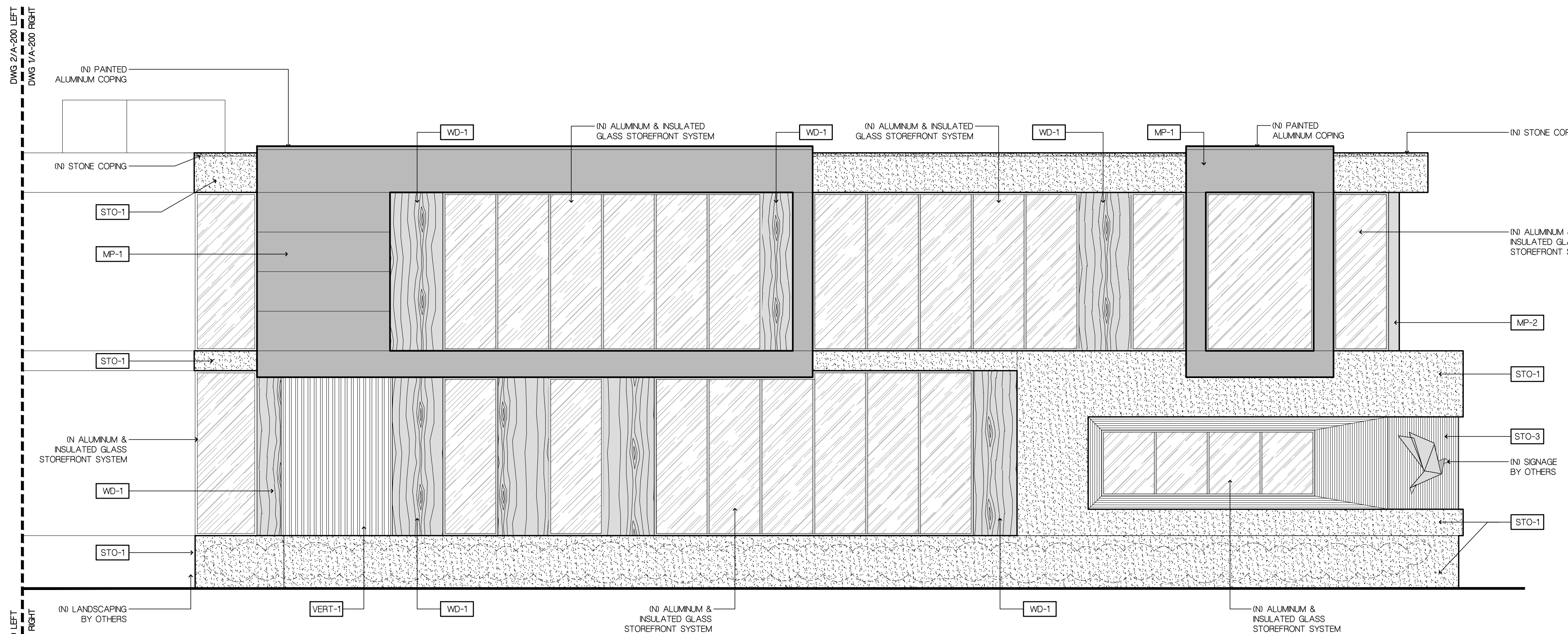
A-200



3 NORTHEAST (SIDE) ELEVATION
SCALE: 3/16" = 1'-0"



2 NORTHWEST (FRONT) PARTIAL ELEVATION
SCALE: 3/16" = 1'-0"

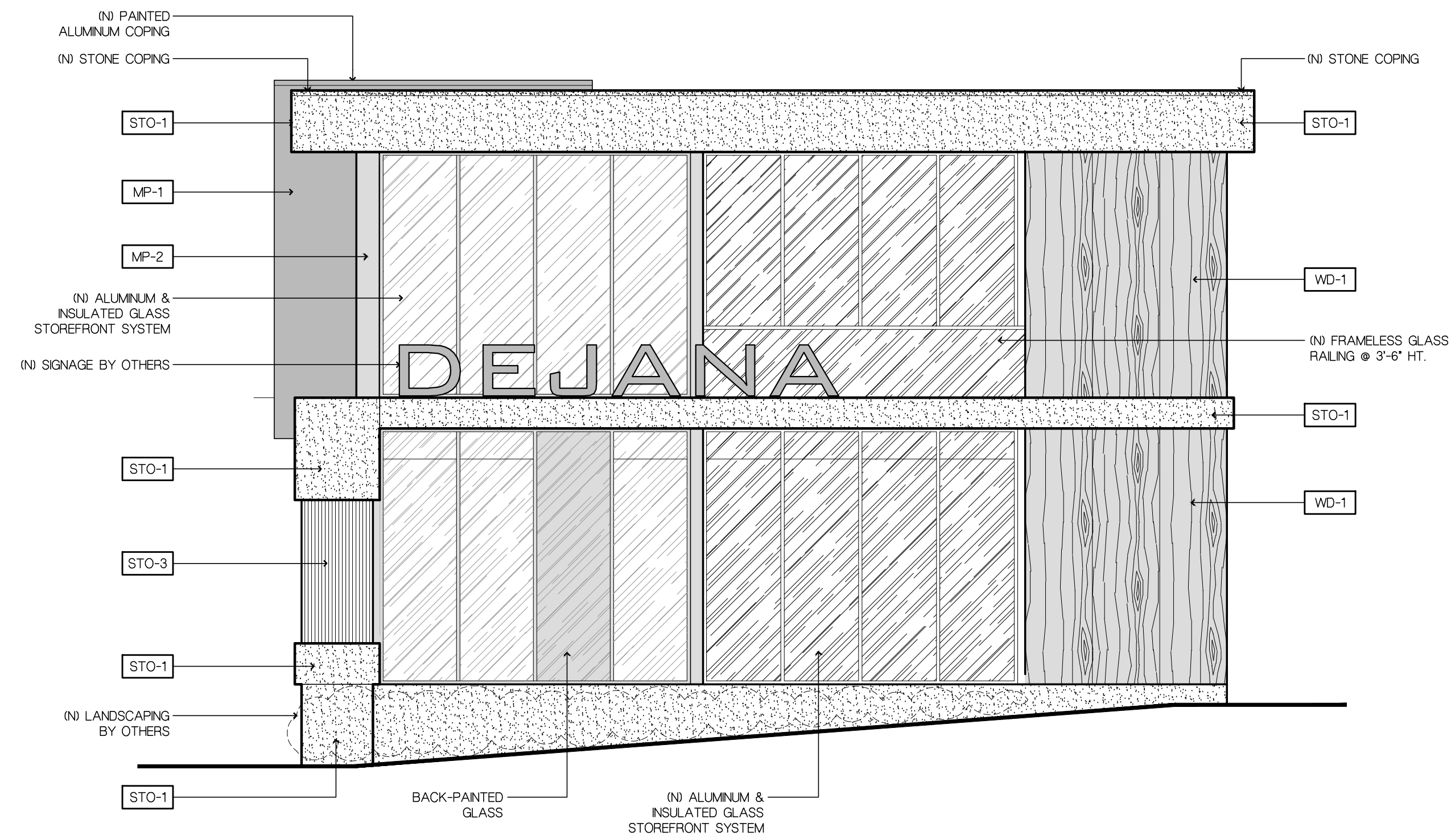
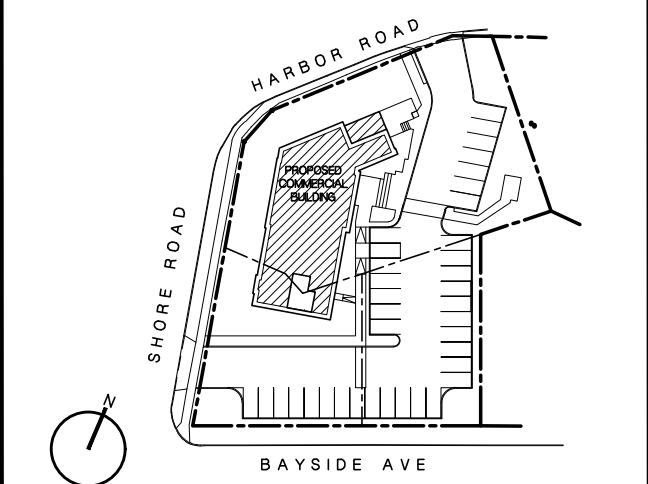


1 WEST (FRONT) PARTIAL ELEVATION
SCALE: 3/16" = 1'-0"

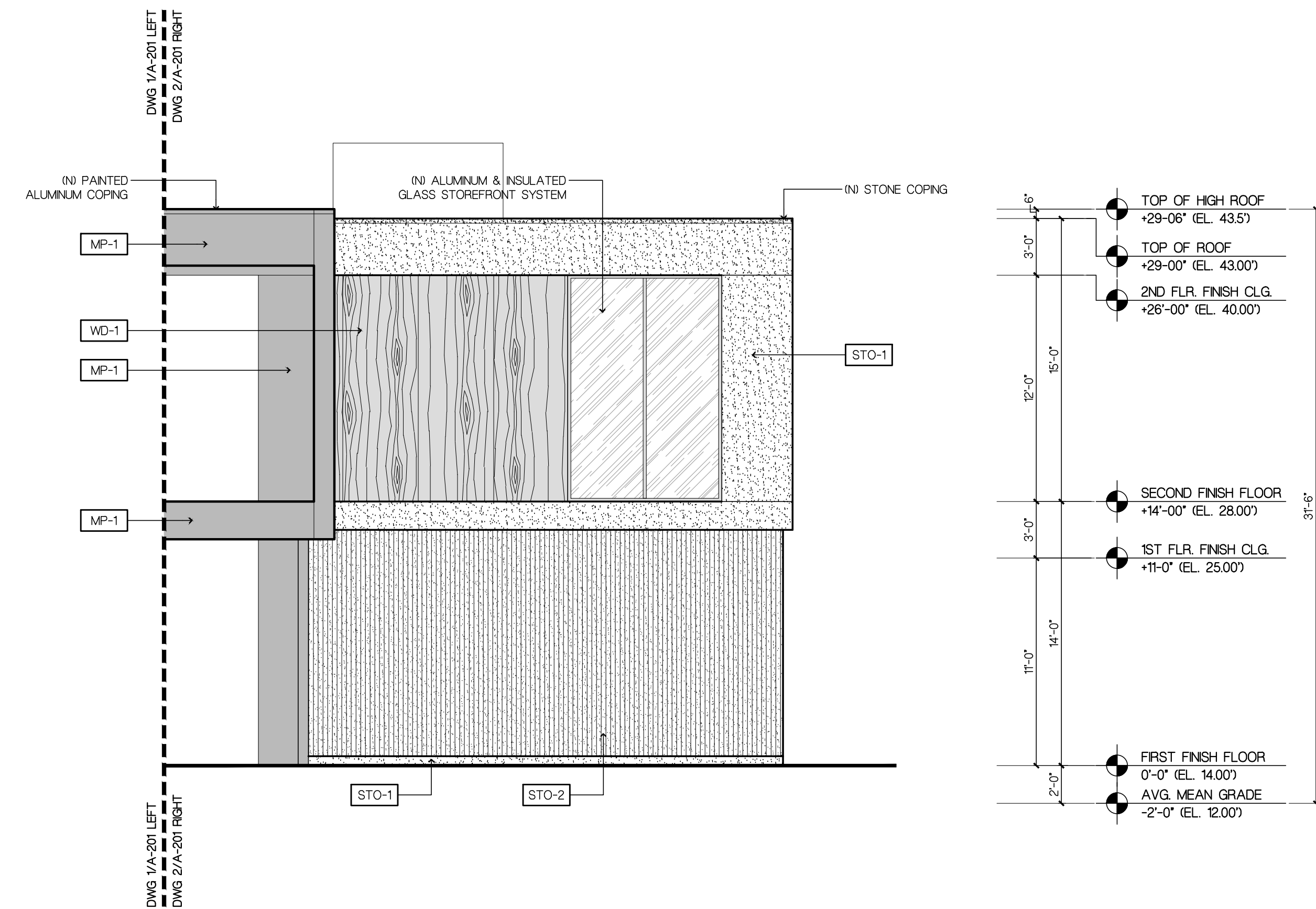
ELEVATION NOTES

ELEVATION MATERIAL LEGEND

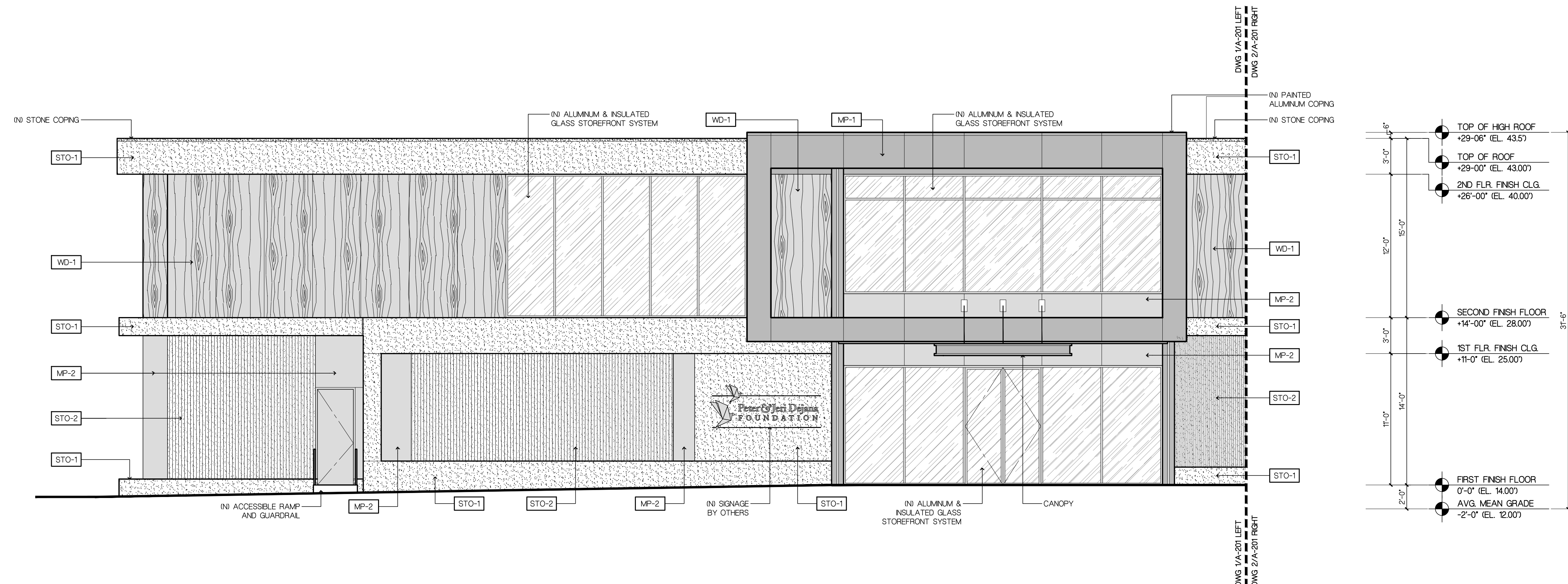
TAG / MATERIAL	HATCH / LEGEND	PRODUCT	DESCRIPTION	TAG / MATERIAL	HATCH / LEGEND	PRODUCT	DESCRIPTION
STO-1	[Stone Panel Hatch]	STONE PANEL	-	VERT-1	[Vertical Slats Hatch]	VERTICAL SLATS	-
STO-2	[Fluted Stone Panel Hatch]	FLUTED STONE PANEL	-	MP-1	[Metal Panel Hatch]	METAL PANEL-1	COLOR - (OR SIMLAR)
STO-3	[Fluted Stone Panel Hatch]	FLUTED STONE PANEL	-	MP-2	[Metal Panel Hatch]	METAL PANEL-2	COLOR TO MATCH WINDOW FRAME (OR SIMLAR)
WD-1	[Wood Look Panel Hatch]	WOOD LOOK PANEL	-				



3 NORTHEAST (SIDE) ELEVATION
SCALE: 3/16" = 1'-0"



2 EAST (REAR) PARTIAL ELEVATION
SCALE: 3/16" = 1'-0"



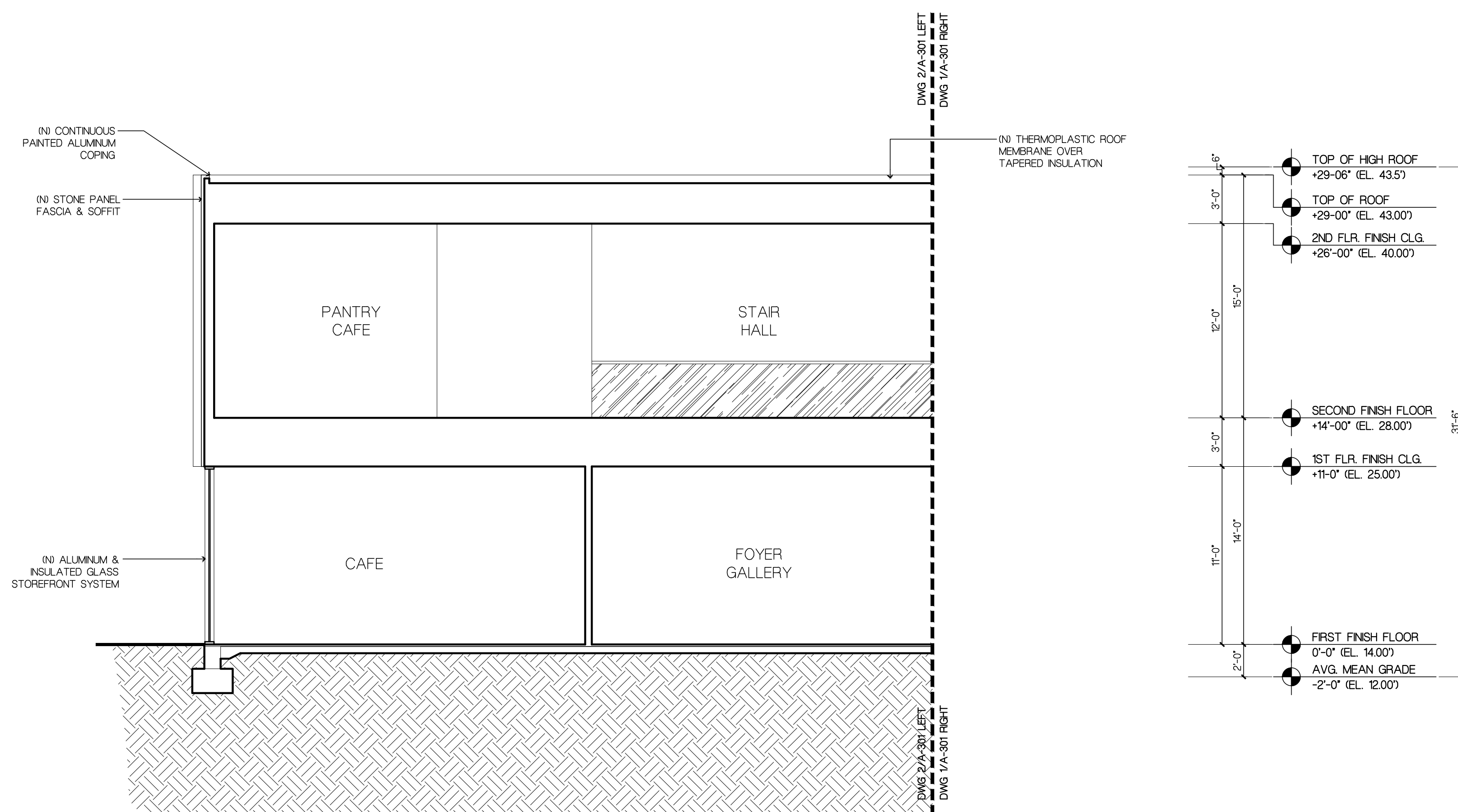
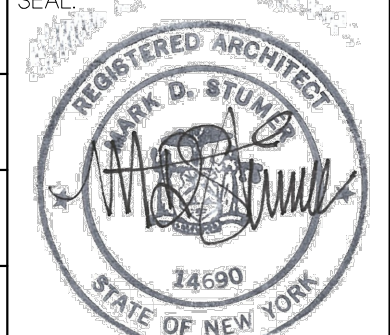
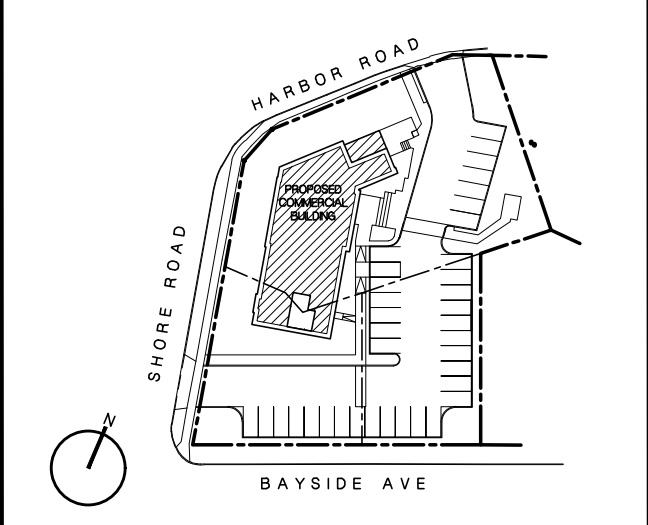
1 EAST (REAR) PARTIAL ELEVATION
SCALE: 3/16" = 1'-0"

ELEVATION NOTES

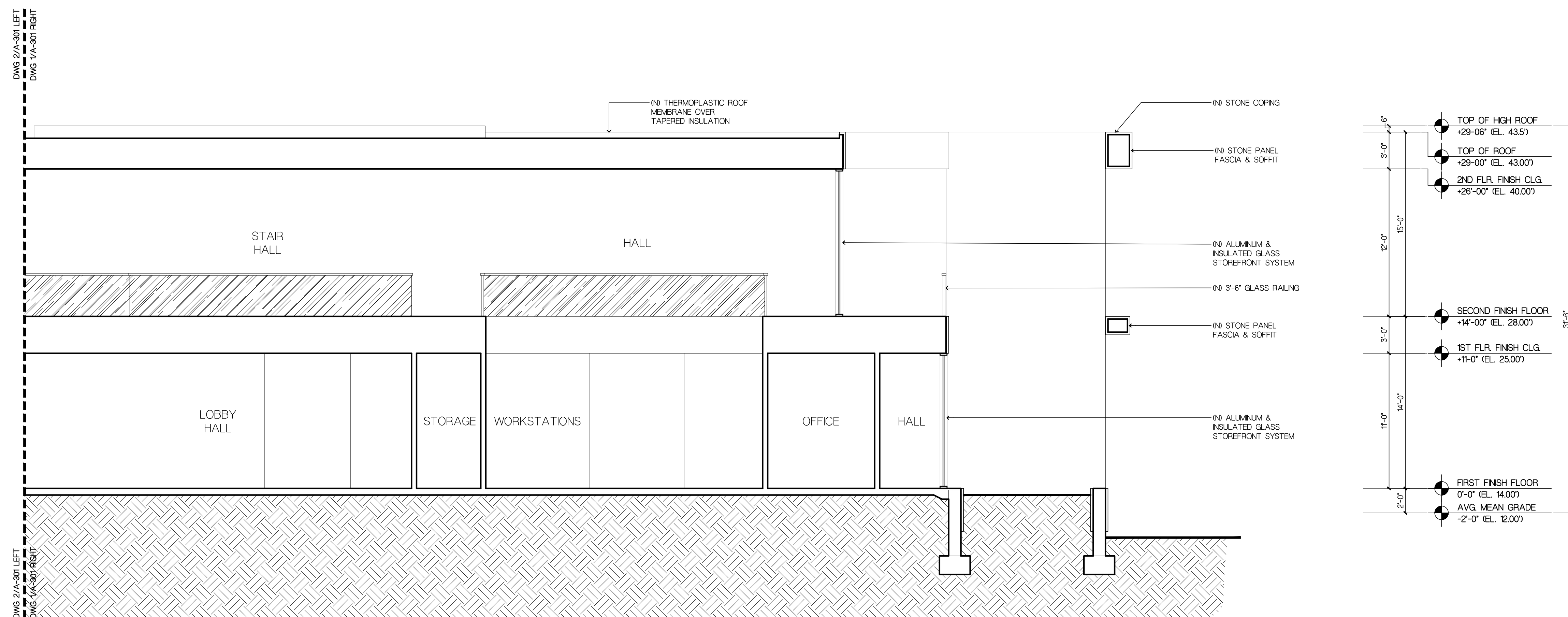
TAG / MATERIAL	HATCH / LEGEND	PRODUCT	DESCRIPTION
STO-1	[Stone Panel Hatch]	STONE PANEL	-
STO-2	[Fluted Stone Panel Hatch]	FLUTED STONE PANEL	-
STO-3	[Fluted Stone Panel Hatch]	FLUTED STONE PANEL	-
WD-1	[Wood Look Panel Hatch]	WOOD LOOK PANEL	-

ELEVATION MATERIAL LEGEND

TAG / MATERIAL	HATCH / LEGEND	PRODUCT	DESCRIPTION
VERT-1	[Vertical Slats Hatch]	VERTICAL SLATS	-
MP-1	[Metal Panel Hatch]	METAL PANEL-1	COLOR - (OR SIMILAR)
MP-2	[Metal Panel Hatch]	METAL PANEL-2	COLOR TO MATCH WINDOW FRAME (OR SIMILAR)



2 BUILDING SECTION
SCALE: 3/16" = 1'-0"



1 BUILDING SECTION
SCALE: 3/16" = 1'-0"